

LOT 100 ON P060775
GOODWOOD ROAD
DONNYBROOK WA 6239
EXTRACTIVE INDUSTRY LICENSE
SEPTEMBER 2024
FOR: DBCEC (WA) PTY LTD





Revision Status

Rev	Date	Author	Approved	Revision Comments
A	20/09/2024	P.Alebakis	P.Alebakis	Issued for Approval



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Contact Details

1st Contact Shane Smith: 0412 053 332
2nd Contact Peter Alebakis: 0404 067 604



1 Introduction

1.1 Site Location

The site is located at Lot 100 Goodwood Road Donnybrook, WA 6239, Shire of Donnybrook, on existing farmland.

The property is owned by Giuseppe Antonio Cavallo and DBCEC (WA) Pty Ltd have sort agreement for gravel extraction within the areas noted below as cell 1 & cell 2.



Figure 01: Site Plan

1.2 Purpose of Report

DBCEC (WA) Pty Ltd have appointed Urbanise WA Pty Ltd to prepare report detailing supporting documentation to aid in the application of and approval of the proposed gravel quarry for the above property.



2 Pit Operations and Management

2.1 Existing Land

The existing land is described on Certificate of Title Volume 2727 Folio 384 as lot 100 on Deposited Plan 60775 with area of interest as detailed on G&W Surveys. The Owner of this land is Giuseppe Antonio Cavallo. Refer to Appendix 1 for Certificate of Title details.

The land is currently utilised as rural pastoral land and the proposed excavation areas require no clearing of vegetation.

2.2 Nature of Excavation

The nature of this excavation is for gravel material to be used in road construction and other projects seeking to improve the development site soil conditions. It is proposed that the extraction will be over a 10-year period with an annual excavation in the order of 20,000 to 30,000m³ (32,000 to 48,000 Ton's).

It is proposed to conduct the excavation staged over 2 cells where for each cell, it is proposed to strip the topsoil to one side for rehabilitation respread once the gravel excavation is completed and reinstating the site as pastoral land. Once topsoil stockpiled, the gravel will be excavated via a excavator and a front end loader that will place the material to be screened prior to loading onto trucks delivering the gravel.

Refer to Appendix 3 for proposed staged zones and excavation details.

2.3 Management of Heritage

There are no registered Aboriginal Heritage Sites in this area.

DBCEC has consulted with traditional owners and conducted site inspection on 21/06/2023, refer to Appendix 2 for correspondence.

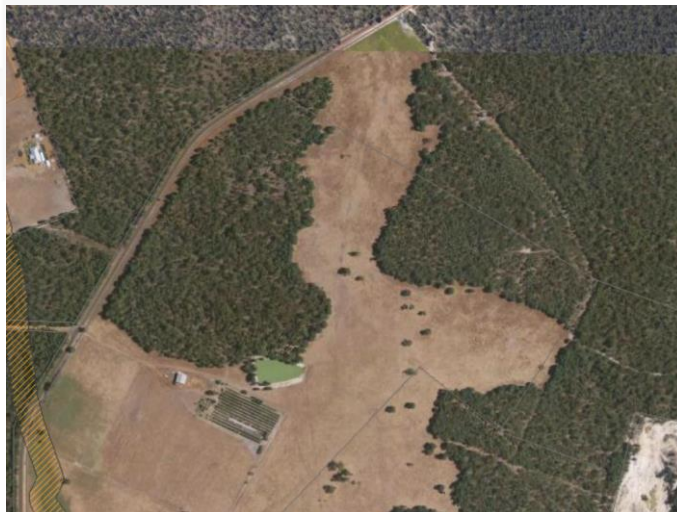


Figure 02: Heritage Mapping



2.4 Site Access Road

It is proposed to maintain the existing gravel access track into the site from Goodwood Road. This track is to be extended as shown on Survey and Civil plans where the alignment is to meander through the tree line ensuring significant trees are not removed.

Upon approval excavation licence, a site inspection of alignment with the Shire to be conducted prior to works commencing.

2.5 Vehicle Movements

It is expected that the total amount of material to be excavated from this pit will be 20,000 to 30,000m³ per year. Vehicle movement will be restricted to:-

- Minor carting as required
- Movement of excavation equipment as required
- B-Double trucks as required
- Light vehicles as required

This is estimated that approximately 10-12 vehicles movements per day will be entering and exiting the site (2-3 per hour).

2.6 Noise Management

The nature of this operation will have minimalise noise effects on the surrounding area. The closest residence is approximately 650metres from edge of operations extraction works area. The primary works will consist of loading and transportation of gravel material. Excavation and screening of gravel will be conducted over a couple of times a year for no longer than 2 weeks to provide a stockpile of material sufficient for the applicant needs for 12 months. Excavation and screening shall not occur on weekends or public holidays.

All operations will be during daylight hours, generally in spring/summer time of the year. Operations shall not occur on weekends or public holidays. The operation will comply with the Shire of Donnybrook Balingup's Environmental Health Services, Noise Information sheet.

Table 1 below is a list of machinery on site, and their associated noise levels:

Description	Octave Band Centre Frequency (Hz)								Overall db(A)
	31.5	63	125	250	500	1k	2k	3k	
Dozer D10		115	114	111	112	1108	105	99	113
Grader	105	112	110	107	109	107	106	101	112
Loader	109	122	107	107	104	105	102	96	109
Water truck		103	105	102	102	103	101	96	107
Tip Truck		103	105	102	102	103	101	96	107
Mobile Gravel Screed		113	113	110	109	107	105	100	112



2.7 Dieback Management

The dieback management items will be implemented during the life of the project. The principal aim is to eliminate spread of Phytophthora by mechanic means (unclean machinery).

- Unauthorised entry signs to be erected at the property entrance and site to be fenced paddocks and lockable gates will be maintained to control unauthorised access.
- As far as practical haulage vehicles shall be cleaned of all loose soil and plant material prior to entry and exit from the extraction area via a drive through wheel bath or similar.
- Create buffer zones around sensitive areas to prevent machinery from entering or disturbing these zones and ensure water runoff is directed away from these areas.
- Any dieback management actions will be amended as required in response to any future issues raised by:
 - Site Supervisor regular inspections
 - Shire of Donnybrook Balingup
 - DER/DPaW
 - Members of the public

2.8 Dust Management

During the summer months and periods of high seasonal winds which can at times reach gust up to 35 knots, dust from extractive operations may become a health issue for any nearby resident. Measures shall be taken to minimise the amount of dust associated with the operation, such as:

- watering and covering truck loads,
- Use of water trucks to spray roads and work areas to keep dust down,
- stop operation during high winds,
- review applying approved dust suppressants or stabilizers to unsealed surfaces to reduce dust.
- where necessary any other specific requirements from the Shire of Donnybrook Balingup. Details of such to be agreed prior to commencement of works.

It is proposed to utilise the existing dam for the purpose of irrigation / dust suppression as required.

Also, for dust management a buffer of 20 with vegetation will be left on site. It is also noted that the excavation works will be more than 650m away from any existing residential property and 200m away from Goodwood Road.

2.9 Fire Management

The following fire management conditions will be complied with:

- All machinery to be shut down during period of extreme fire hazard as advised by the Chief Fire Control Officer from the Shire of Donnybrook Balingup.
- All machinery to be fitted with fire extinguishers
- The provision of a portable firefighting unit to be maintained onsite during pit operations.
- Surrounding pastoral land to be management with slashing in accordance with Bushfire Management best practices and requirements.

2.10 Pit and Topsoil Management

The topsoil shall be stripped, and stockpile as shown below:

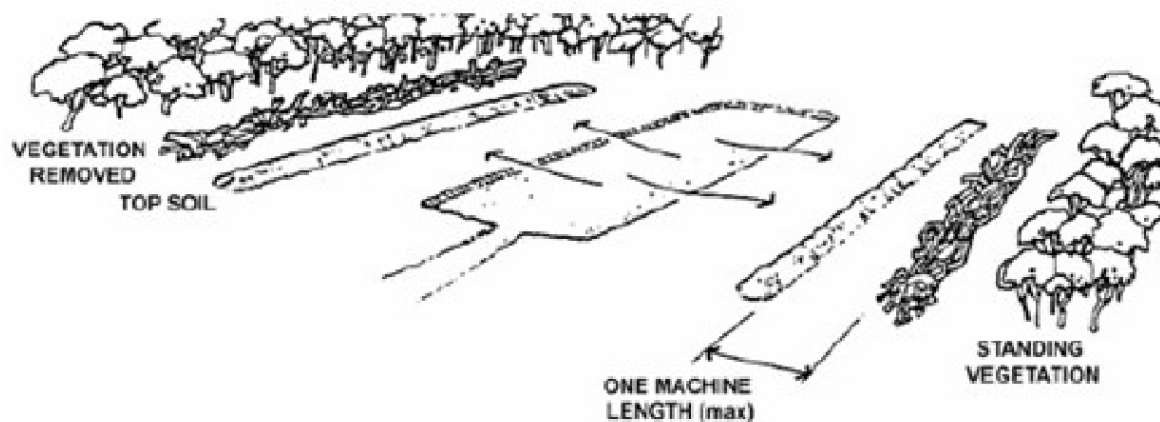


Figure 03: Typical Pit Topsoil Management

Prior to any extraction or rehabilitation earthworks the pit operator will:

- Remove and control all litter;
- No oil changes or servicing of plant and machinery in the pit. Take steps to minimise and close any oil or fuel spills by removing contaminated soil and disposing of this in an approved manner.
- Remove any potentially saleable log material from pit;
- Neatly stack on the pit all debris and bark that is to be burnt; and
- Stacks are to be no closer than 10m from any crop or habitat trees or other vegetation marked for retention;
- Batters are no greater than 1 vertical to 4 horizontal;
- Where non permeable material is encountered, the pit floors shall be shaped to direct water into permeable material area with at least 1:100 fall to prevent ponding;
- Surrounding pastoral land to be management with slashing in accordance with Bushfire Management best practices and requirements.



No Ground water is encountered across the site, there were several test pit excavations conducted by DBCEC (WA) where refusal was encountered within 0.5m of the surface. If Groundwater is encountered during the operations, works within the area are to be stopped and DBCEC (WA) to investigate the source and obtain a management plan to ensure groundwater is managed.

2.12 Weed Management

The site is regularly inspected and maintained free from introduced weeds both agricultural and environmental. Spraying weeds using recommended approved herbicides at prescribed rates should be undertaken as required. Equipment and trucks should be cleaned and inspected for potential sources of weeds, in conjunction with weed management prior to the commencement of clearing, carting or rehabilitation operations.

2.13 Decommissioning Programme

At the completion of gravel excavation and stockpile operations, the pit area will be rehabilitated as described below:

- Pit walls will be battered to a slope no more than 1 in 4.
- The pit floor will be shaped with a minimum of 1 in 100 fall to avoid water ponding with any drainage directed downslope towards natural flow path of the site.
- Pit floor will be ripped during summer at minimum 1m spacings across the contour a depth of at least 800mm.
- The pit will be shaped to conform and blend into the adjacent landform as far as practical.
- Topsoil and any over burden will be evenly spread over the pit area leaving a rough surface
- Any exposed rock shall be crushed or removed.



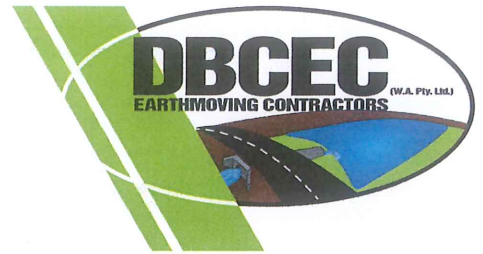
Appendix 1 Certificate of Title





Appendix 2 Aboriginal Heritage Correspondence





DBCEC (WA) Pty Ltd
PO Box 434
DONNYBROOK WA 6239
Ph: 0412 053 332
admin@dbcec.com.au

22nd June 2023

To Whom it May Concern,

I, Shane Smith, of DBCEC (WA) Pty Ltd, have engaged with traditional owners on developing a gravel pit on private property (Lot on Plan P060775 100 / Land ID 3832164) on Goodwood Road, Paynedale, of disturbed land use for livestock. The land was inspected on 21/06/23, as consultation to do with heritage issues as an ethnographic survey in the Shire of Donnybrook-Balingup

If you would like to further discuss this matter, please feel free to call me anytime on 0412 053 332.

Kind regards,

A handwritten signature in blue ink, appearing to read 'Shane Smith', is positioned above the typed name.

Shane Smith
DBCEC Director

A handwritten signature in black ink, appearing to read 'James Khan', is positioned above the typed name.

James Khan
Traditional Owner Informative



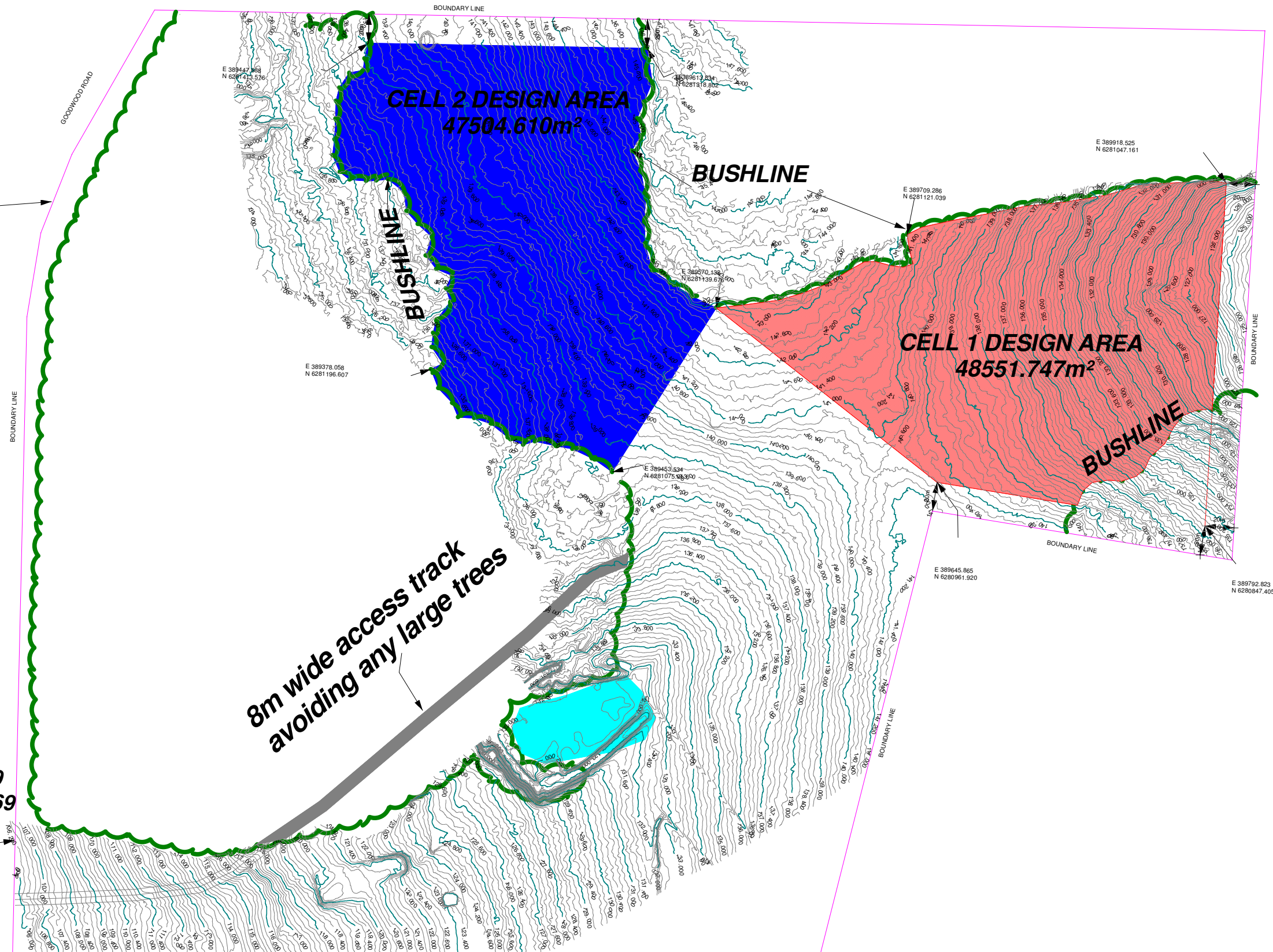
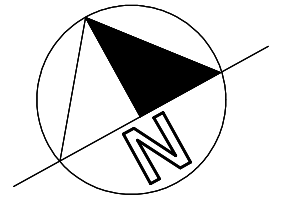
Appendix 3 Survey & Civil Plans



Lot 100 on - P060775
 Land ID number - 3832164
 local Government - Donnybrook - Balingup

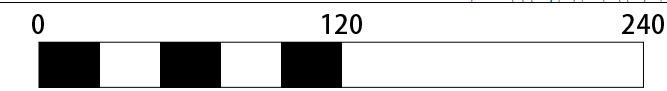
STN 2
 E 389558.530
 N 6281542.506
 RL 136.348

M-042-01
 E 389204.524
 N 6281422.335
 RL 126.629



8m wide access track
 avoiding any large trees

DATUM ESTABLISHED
 FROM M-042-01



SCALE 1 : 3000

Horizontal Datum : MGA 94 Vertical Datum : AHD

Surveyor: Jesse Gledhill

Drafted By: Jesse Gledhill

Date drafted: 13 / 08 / 2024

Date of Survey: N/A

BOUNDARY INFO DERIVED
 FROM LANDGATE IS
 APPROXIMATE ONLY

Drawing # 1



PIT DESIGN



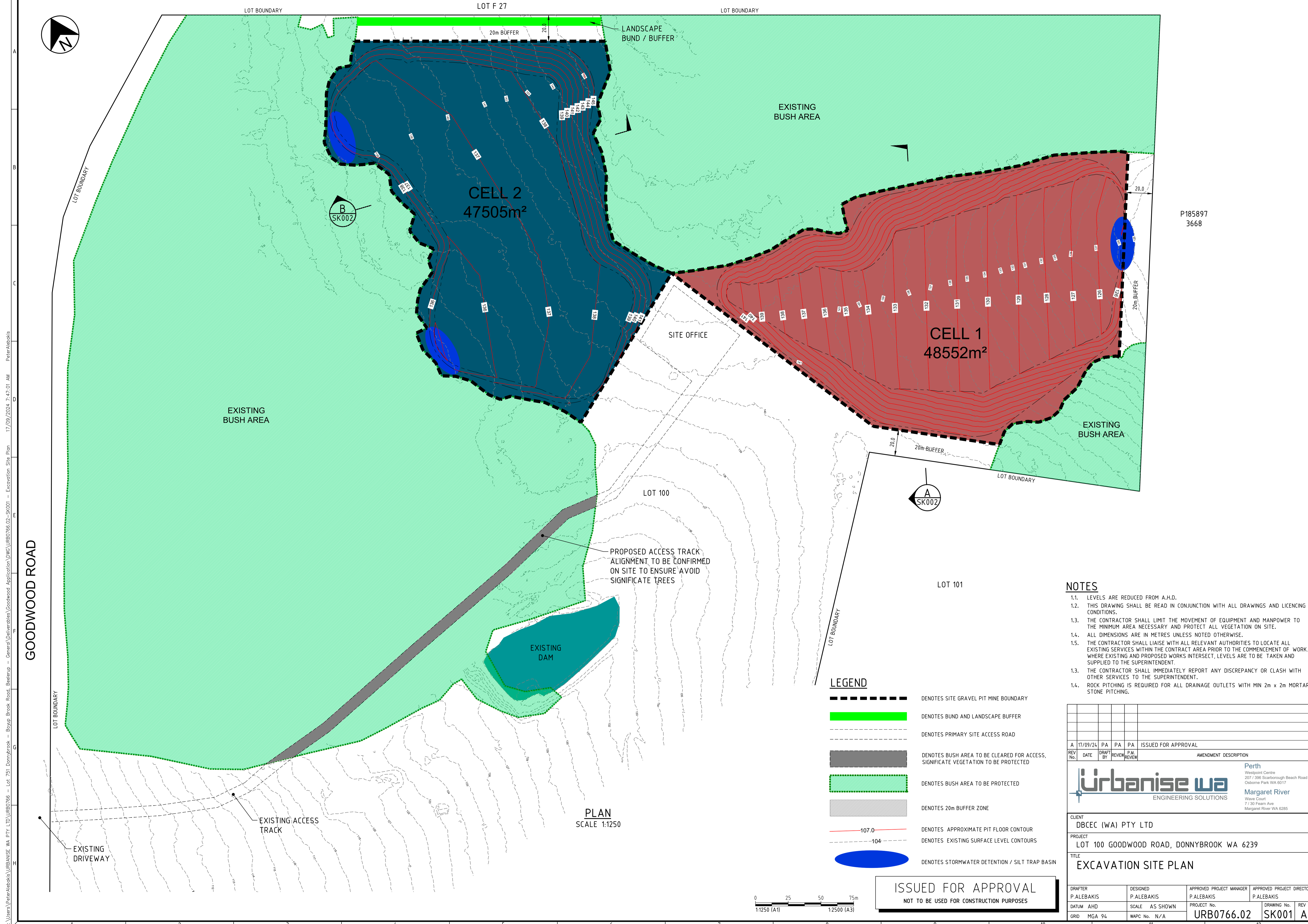
Client

DBCEC

Project :

GOODWOOD ROAD PIT

**G&W SURVEYS
 JESSE GLEDHILL 0458 221 008**



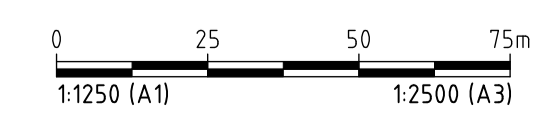
P185897
3668

- NOTES**
- 1.1. LEVELS ARE REDUCED FROM A.H.D.
 - 1.2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL DRAWINGS AND LICENCING CONDITIONS.
 - 1.3. THE CONTRACTOR SHALL LIMIT THE MOVEMENT OF EQUIPMENT AND MANPOWER TO THE MINIMUM AREA NECESSARY AND PROTECT ALL VEGETATION ON SITE.
 - 1.4. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 - 1.5. THE CONTRACTOR SHALL LIAISE WITH ALL RELEVANT AUTHORITIES TO LOCATE ALL EXISTING SERVICES WITHIN THE CONTRACT AREA PRIOR TO THE COMMENCEMENT OF WORK. WHERE EXISTING AND PROPOSED WORKS INTERSECT, LEVELS ARE TO BE TAKEN AND SUPPLIED TO THE SUPERINTENDENT.
 - 1.3. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCY OR CLASH WITH OTHER SERVICES TO THE SUPERINTENDENT.
 - 1.4. ROCK PITCHING IS REQUIRED FOR ALL DRAINAGE OUTLETS WITH MIN 2m x 2m MORTAR STONE PITCHING.

LEGEND

	DENOTES SITE GRAVEL PIT MINE BOUNDARY
	DENOTES BUND AND LANDSCAPE BUFFER
	DENOTES PRIMARY SITE ACCESS ROAD
	DENOTES BUSH AREA TO BE CLEARED FOR ACCESS, SIGNIFICATE VEGETATION TO BE PROTECTED
	DENOTES BUSH AREA TO BE PROTECTED
	DENOTES 20m BUFFER ZONE
	DENOTES APPROXIMATE PIT FLOOR CONTOUR
	DENOTES EXISTING SURFACE LEVEL CONTOURS
	DENOTES STORMWATER DETENTION / SILT TRAP BASIN

ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES



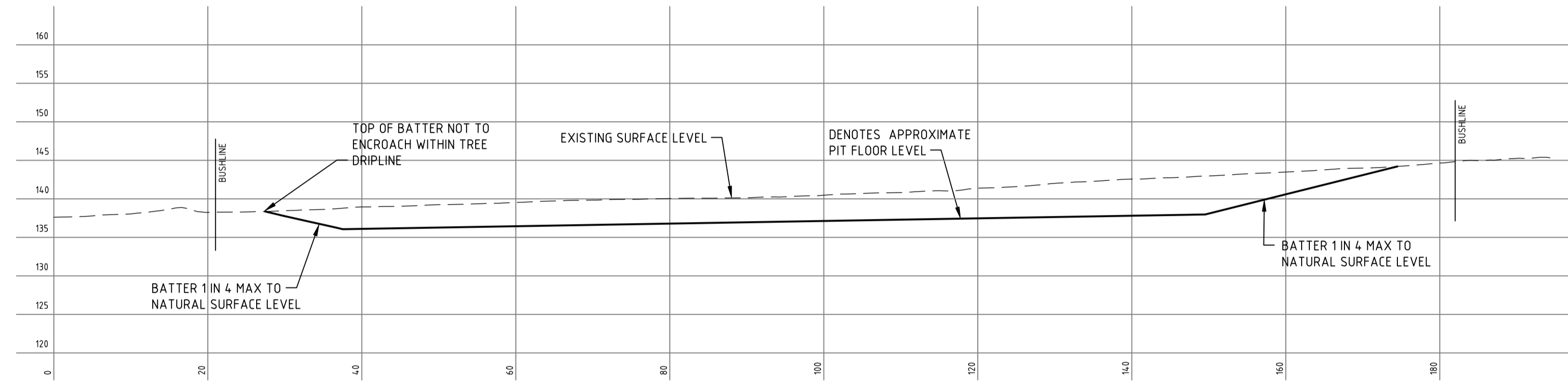
REV No.	DATE	BY	REVIEW	AMENDMENT DESCRIPTION
A	17/09/24	PA	PA	ISSUED FOR APPROVAL

Perth
 Westpoint Centre
 207 / 396 Scarborough Beach Road
 Osborne Park WA 6017
 Margaret River
 Wave Court
 7 / 30 Ferns Ave
 Margaret River WA 6285

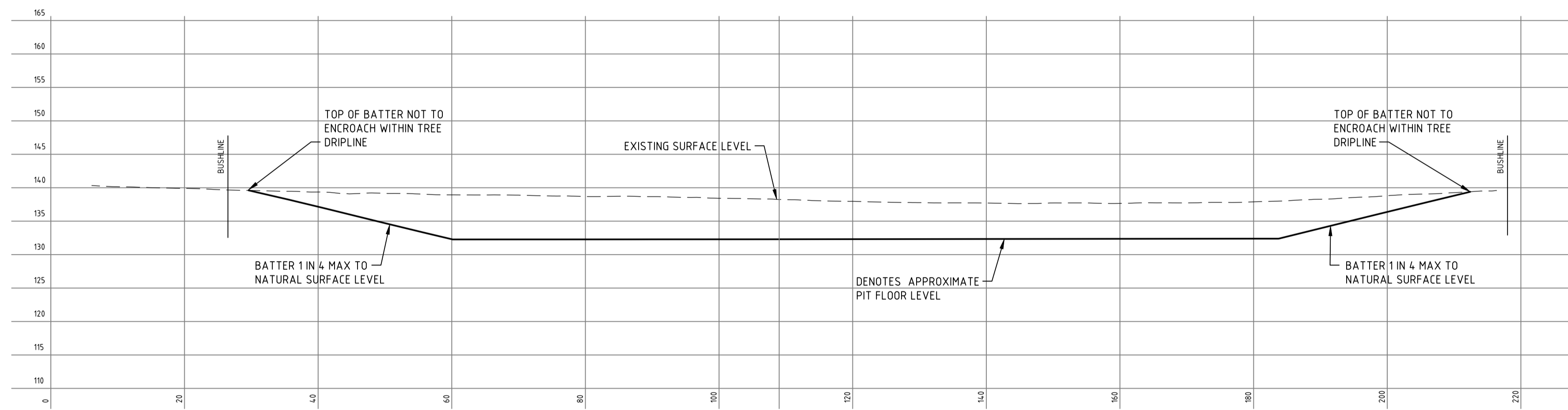
CLIENT: DBCEC (WA) PTY LTD
 PROJECT: LOT 100 GOODWOOD ROAD, DONNYBROOK WA 6239
 TITLE: EXCAVATION SITE PLAN

DRAFTER	DESIGNED	APPROVED PROJECT MANAGER	APPROVED PROJECT DIRECTOR
P.ALEBAKIS	P.ALEBAKIS	P.ALEBAKIS	P.ALEBAKIS
DATUM	AHD	SCALE	AS SHOWN
GRID	MGA 94	WAPC No.	N/A
PROJECT No.		DRAWING No.	REV
URB0766.02		SK001	A

C:\Users\PeterAlebakis\URBANISE WA PTY LTD\URB0766 - Lot 151 Donnybrook - Bayup Brook Road, Beelerup - General\Deliverables\Goodwood Application\DWG\URB0766.02-SK001 - Excavation Site Plan - 17/09/2024 7:47:01 AM PeterAlebakis



SECTION **B**
SCALE 1:500
SK001



SECTION **A**
SCALE 1:500
SK001



ISSUED FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES

REV No.	DATE	DRAFT BY	PA REVIEW	PA REVIEW	PA REVIEW	ISSUED FOR APPROVAL
						AMENDMENT DESCRIPTION
						Perth Westpoint Centre 207 / 396 Scarborough Beach Road Osborne Park WA 6017 Margaret River Wave Court 7 / 30 Fresh Ave Margaret River WA 6285
CLIENT DBCEC (WA) PTY LTD						
PROJECT LOT 100 GOODWOOD ROAD, DONNYBROOK WA 6239						
TITLE EXCAVATION SECTIONS						
DRAFTER P.ALEBAKIS	DESIGNED P.ALEBAKIS	APPROVED PROJECT MANAGER P.ALEBAKIS	APPROVED PROJECT DIRECTOR P.ALEBAKIS			
DATUM MGA 94	AHD	SCALE AS SHOWN	PROJECT No. URB0766.02	DRAWING No. SK002	REV B	

C:\Users\PeterAlebakis\URBANISE WA PTY LTD\URB0766 - Lot 151 Donnybrook - Bayup Brook Road - Beeterup - General\Deliverables\Codebook Application\DWG\URB0766.02-SK002 - Excavation Sections 17/09/2024 7:47:27 AM PeterAlebakis

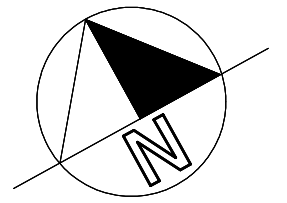


Appendix 4 Survey Certificate

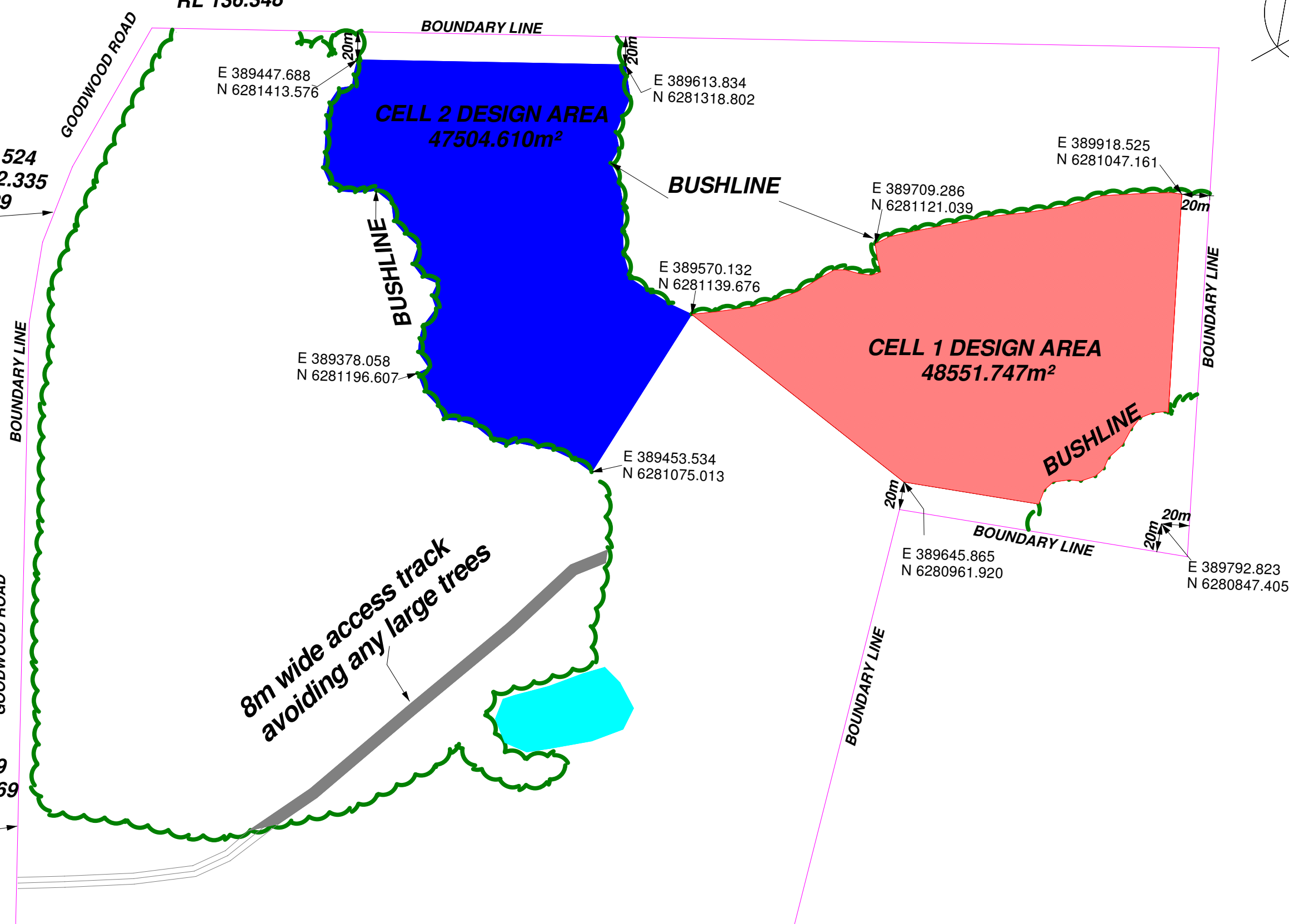


Lot 100 on - P060775
 Land ID number - 3832164
 local Government - Donnybrook - Balingup

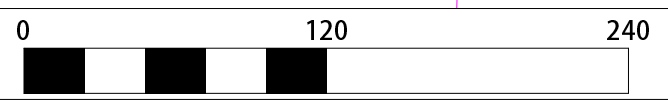
STN 2
 E 389558.530
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 RL 136.348



M-042-01
 E 389204.524
 N 6281422.335
 RL 126.629



DATUM ESTABLISHED FROM M-042-01



SCALE 1 : 3000

Surveyor: Jesse Gledhill
 Drafted By: Jesse Gledhill
 Date drafted: 10 / 09 / 2024
 Date of Survey: N/A



PIT DESIGN



Client DBCEC

Project : GOODWOOD ROAD PIT

Horizontal Datum : MGA 94
 Vertical Datum : AHD

BOUNDARY INFO DERIVED FROM LANDGATE IS APPROXIMATE ONLY
 Drawing # 1

G&W SURVEYS
JESSE GLEDHILL 0458 221 008