



Shire of Donnybrook-Balingup Local Planning Scheme No. 7

Scheme Amendment No. 14

Cherry View Estate Pty Ltd

ABN 63 069 628 539

Telephone 0419 992 905
tscaffidi@optusnet.com.au

Postal Address
30 San Marco Promenade
Pelican Point WA 6230

Planning and Development Act 2005
RESOLUTION TO ADOPT AMENDMENT
TO LOCAL PLANNING SCHEME

Shire of Donnybrook-Balingup Local Planning Scheme No. 7
Amendment No. 14

1. Resolved that the local government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:
 - 1.1. Reclassifying Lot 384 Marshall Road, Argyle from 'General Agriculture' zone to 'Rural Residential' zone and identifying as 'RR2' within Schedule 2;
 - 1.2. Deleting 'DIA1' and all associated requirements for Lot 384 Marshall Road, Argyle within Schedule 13;
 - 1.3. Inserting the following provisions into Schedule 2 of the Scheme after 'RR1':

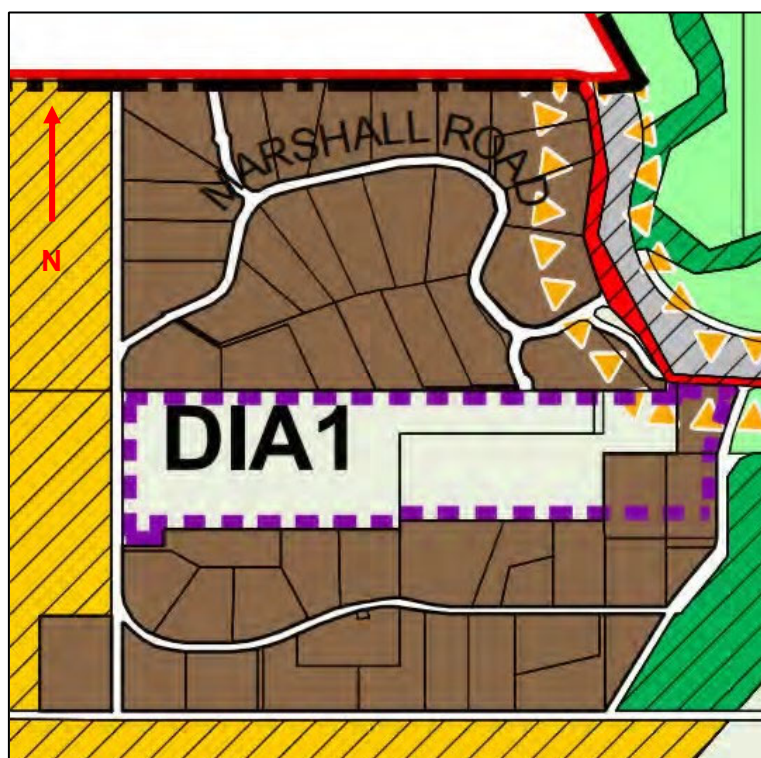
Zone Identification	Special Provisions
RR2 Lot 384 Marshall , Road, Argyle.	<p>Prior to subdivision and development, the following is to be addressed:</p> <ol style="list-style-type: none"> 1. Subdivision and development to be generally in accordance with the subdivision concept plan below: <div data-bbox="608 1086 1230 1368" data-label="Diagram"> </div> 2. Construction of a fully operational 50,000L water tank for firefighting purposes. 3. Construction of an Emergency Access Way connecting to South Western Highway to the specifications of Main Roads Western Australia. 4. Construction of Emergency Access Ways, via an internal Right of Carriageway and a Restricted Public Emergency Access Way within the subdivision to facilitate access to Strempel Nook. 5. Satisfactory arrangements being made with the local government for the construction of the portion of Marshall Road fronting the subdivision site. 6. Satisfactory arrangements being made with the local government for the construction of the portion of Strempel Nook providing access to new lots as a result of the subdivision of the land.

- 1.4. Amending the scheme map accordingly.

2. The Amendment is a “Standard Amendment” under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reasons:
 - The amendment relates to a zone that is consistent with the objectives identified in the above Local Planning Scheme and;
 - The amendment is consistent with the Local Planning Strategy for the scheme that has been endorsed by the Commission.

Scheme Amendment Map

SHIRE OF DONNYBROOK-BALINGUP LOCAL PLANNING SCHEME NO. 7 AMENDMENT NO. 14



LEGEND

LOCAL SCHEME RESERVES

- Major Road
- Parks and Recreation
- Railway
- State Forest/National Park/Conservation

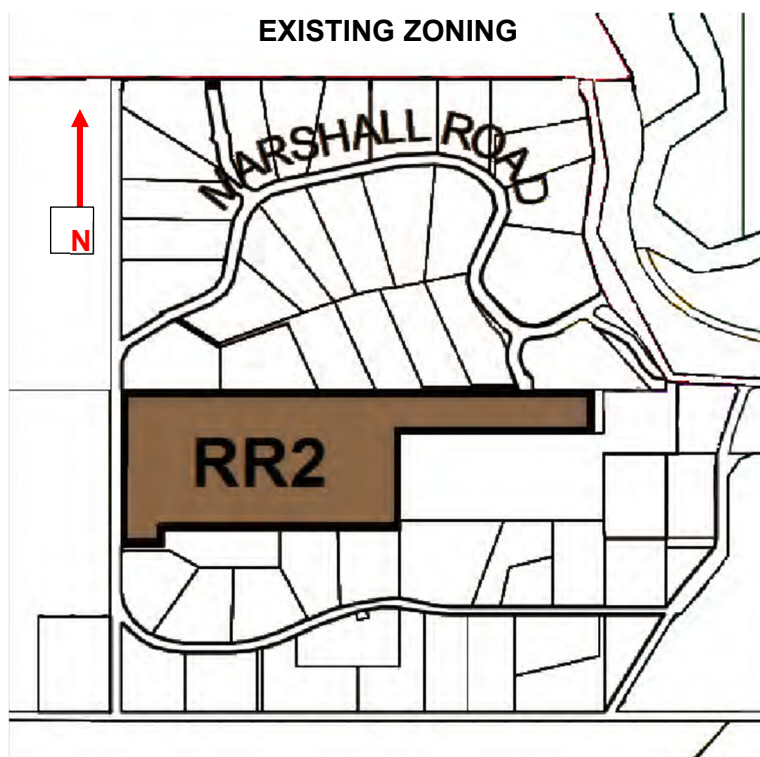
LOCAL SCHEME ZONES

- General Agriculture
- Rural Residential
- Special Use

OTHER CATEGORIES

(see scheme text for additional information)

- Scheme Area Boundary
- DIA1 Development Investigation Area
- SCA7 Road Protection Area



EXISTING ZONING

- RR1 Rural residential area

PROPOSED ZONING

CONTENTS

APPENDICES	4
1 INTRODUCTION	5
1.1 Statement of Intent	5
2 BACKGROUND	5
3 THE SUBJECT LAND (LOT 384)	6
4 SITE DESCRIPTION	8
4.1 Geology.....	8
4.2 Soil Types	8
4.3 Land Form & Landscape	9
4.4 Land Use.....	9
4.5 Vegetation and Fauna	9
4.6 Water & Sewer Availability	10
5 LOCAL PLANNING CONSIDERATIONS.....	10
5.1 Shire of Donnybrook-Balingup Local Planning Scheme No. 7	10
5.2 Local Planning Strategy Draft 2024	12
6 PROPOSED AMENDMENT.....	14
6.1 Bushfire Risk Assessment	15
6.2 Land Capability.....	17
6.3 Vegetation and Fauna	17
6.4 Concept Subdivision Layout	19
6.5 Special Development Controls	19
6.6 Protection of Existing Character	19
7 CONCLUSION.....	20

APPENDICES

1. Title Information
 - a) Certificate of Title Volume 1508 Folio 889
 - b) Diagram 53579
2. Existing Ground Contour Map
3. Map of Remnant Vegetation & Threatened Ecological Communities
4. Plan Proposals
 - a) Concept Subdivision Plan Map (Amd 14) February 2024
 - b) Previous Concept Subdivision Plan Map (Amd 11) March 2020
5. Bushfire Management
 - a) Updated Bushfire Management Plan including options for Secondary Access and BAL Contour Map
 - b) Vegetation Classification Plan for 19 lots March 2020
6. Flora/Vegetation & Fauna Information
 - a) Flora & Fauna Assessment
 - b) RR2 Habitat Tree Layout Plan

1 INTRODUCTION

1.1 Statement of Intent

Cherry View Estate Pty Ltd & Scaffidi Super Company Pty Ltd (Developer) are the owners of Lot 384 Marshall Road, Argyle (Lot 384). This report has been prepared to seek support from the Shire of Donnybrook-Balingup to amend Local Planning Scheme No.7 (LPS7). The proposal is to amend the zoning for Lot 384 from 'General Agriculture' to 'Rural Residential'. This amendment will also involve the removal of the 'Development Investigation Area 1' and the imposition of 'Rural Residential Area No. 2' (RR2) that will incorporate provisions into Schedule 2 of LPS7 to guide future subdivision of Lot 384.

The Developer has by this submission, addressed previously raised concerns of Scheme Amendment 11 as recommended by Council at its ordinary Council Meeting in March 2020. The developer via its submission, intends to demonstrate alternative responsible solutions and opportunities for the use of Lot 384 which provides additional benefits to neighbouring residents.

2 BACKGROUND

Previously Lot 384 Marshall Road, Argyle was to be rezoned under Scheme Amendment 11 with the intent of creating 19 lots. Although Scheme Amendment 11 was recommended for approval by Council at its Ordinary Council Meeting in March 2020, after the then developer withdrew its application, it was officially refused by the Western Australian Planning Commission (WAPC) in October 2020 for the following reasons:

1. The proposal has not satisfactorily addressed the bushfire issues arising from the intensification of the land use; and
2. The amended bushfire management plan has not demonstrated consistency with State Planning Policy 3.7 in regard to:
 - a) vegetation classification.
 - b) assessment of bushfire hazards.
 - c) vehicular access and the preparation of a satisfactory bushfire attack level (BAL) contour map.
 - d) information provided is not sufficient to confirm that no development site is classified as BAL-40, BAL FZ or extreme BHL or that vehicles can move safely to/from and through the development site at all times.

Scheme Amendment 14 presents a shift from the previously proposed Scheme Amendment 11 by significantly reducing the number of additional lots from 18 to just 5. This decrease addresses concerns related to overdevelopment and by scaling back the number of lots, the amendment aims to create a more manageable and sustainable development footprint.

In response to bushfire concerns raised by the Western Australian Planning Commission (WAPC), the Developers have spent considerable time over the past 18 months working and consulting with Department of Fire and Emergency Services, Department of Main Roads and Department of Planning Lands and Heritage as well as surrounding residents to formulate this Scheme Amendment.

The Developers are unable to address all concerns raised by Main Roads, with regard to the secondary access which aims to benefit this legacy area of the wider Marshall Road Locality. With the exception of the proposed exit all other investigated options create greater risks for current residents and would not be compliant with current Planning in Bushfire Prone Areas.

This issue has been acknowledged under the Shire's current Draft Local Planning Scheme 2024 which states;

"If secondary access cannot be achieved, the Shire may consider a reduced lot yield subject to review and approval by the DPLH in consultation with DFES".

Scheme Amendment 14 includes several key measures enhancing safety and preparedness for not only existing and future residents but firefighting services. One of the primary improvements is the sealing of the unsealed section of Marshall Road. This upgrade is expected to improve road safety and facilitate better access in emergency situations. Additionally, in preference to individual 10,000-litre water tanks, a new 50,000-liter water tank, dedicated to fire-fighting purposes will be installed, providing a critical resource for managing bushfire risks. This proposal also outlines enhanced alternative emergency escape options, which will ensure more effective and timely responses in case of a fire emergency.

Environmental impact considerations have been a major focus of Scheme Amendment 14. The revised lot layout significantly reduces the environmental footprint compared to the earlier proposal, aiming to preserve more natural habitats. By addressing these environmental concerns, the amendment seeks to balance development needs with ecological preservation.

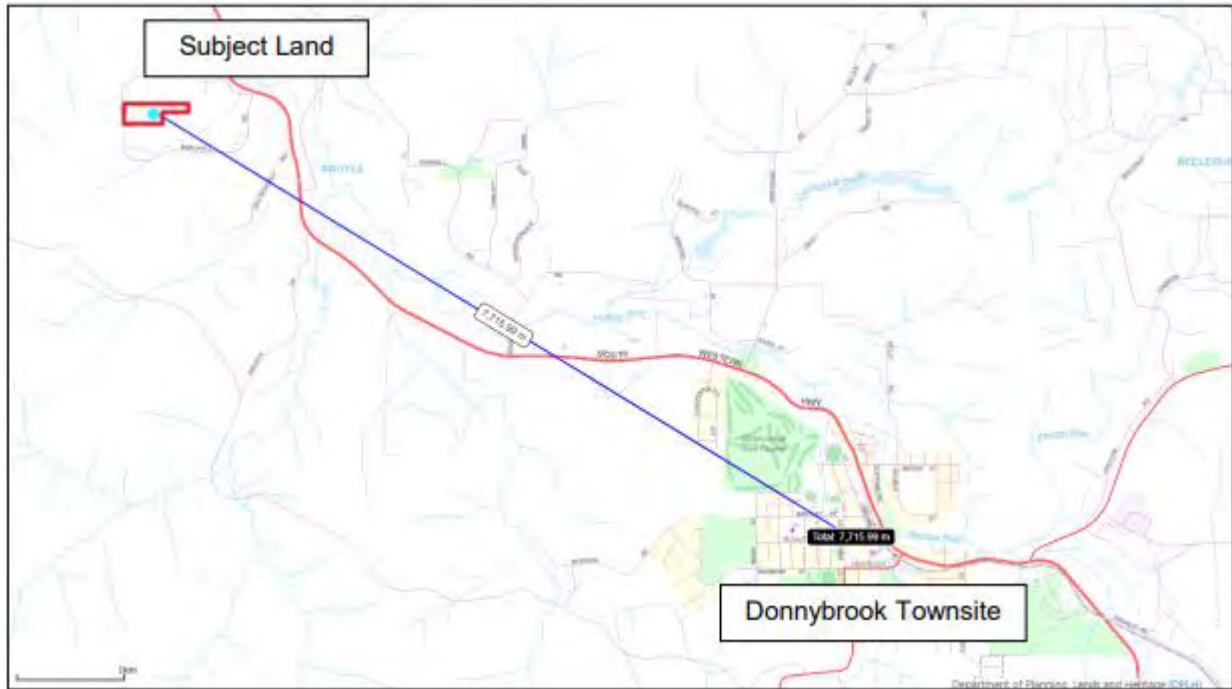
Overall, Scheme Amendment 14 as far as practical, addresses community concerns by improving safety and environmental outcomes by

- a) a reduction in lot numbers
- b) enhanced firefighting services
- c) improved internal road safety
- d) additional alternative escape options in the event of an emergency
- e) reduced environmental impact

3 THE SUBJECT LAND (LOT 384)

Lot 384 is located approximately 7.7 kilometres to the northwest of the Donnybrook Townsite (see Figure 1). Access to Lot 384 is from Strempe Nook that links the lot with South Western Highway via Marshall Road.

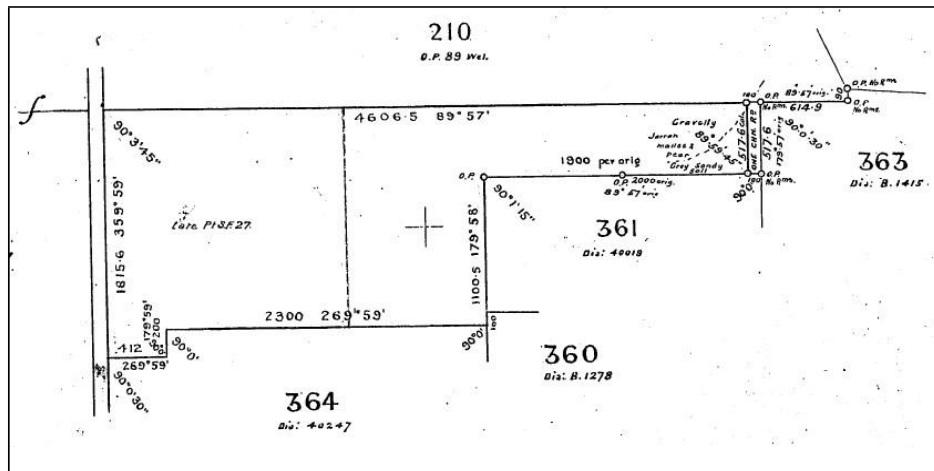
FIGURE 1 - LOCATION PLAN



Source: PlanWA

Lot 384 is 22.08ha in size as depicted on Diagram 53579 (Certificate of Title Volume 1508 Folio 889). Copies of this diagram and title are contained in Appendix 1B. An extract of the diagram is shown below in Figure 2.

FIGURE 2 - DIAGRAM 53579 EXTRACT



Source: Landgate

Figure 3 provides an aerial photograph of Lot 384 and the surrounding area.

FIGURE 3 - AERIAL PHOTOGRAPH OF LOT 384 AND THE SURROUNDING AREA



Source: NearMap, Civil Technology

4 SITE DESCRIPTION

4.1 Geology

According to the Department of Energy, Mines, Industry Regulation and Safety's GeoVIEW.WA mapping tool, Lot 384 contains two types of geological attributes:

- a) Gravel – loose fine (less than 19mm) red brown to black moderately sorted pisolitic highly variable content of angular quartz sand; and,
- b) Sand – loose white pale grey to yellow medium to coarse-grained moderately sorted angular quartz minor feldspar; residual sand of colluvial origin.

4.2 Soil Types

According to the *Australian Soil Resource Information System*, the soil within Lot 384 comprises of "loam, silty loam or sandy clay loam (20-30%)" within the top 30 centimetres of soil. Key characteristics of the topsoil and subsoil within Lot 384 are outlined in Table 1 below.

TABLE 1 - TOPSOIL AND SUBSOIL CHARACTERISTICS WITHIN LOT 384

	Topsoil	Subsoil
Bulk Density	>1.6g/cm ³	>1.6g/cm ³
Clay Content	0-20%	20-40%
Silt Content	20-40%	40-60%
Sand Content	40-60%	N/A
Texture	Sands	Clay loams/light clays
Available Water	0-20mm	20-40mm
Saturated Conductivity	Moderate (3-30mm/hr)	N/A
Thickness	0.25-0.5m	N/A
Organic Carbon	2-5%	0.5-1%
Total Nitrogen	>0.3%	N/A
Total Phosphorus	<0.02%	N/A
pH	4.9-5.6	5.6-7.0

Lot 384 is not classified as contaminated within the Department of Water and Environmental Regulation's *Contaminated Sites Database*.

4.3 Land Form & Landscape

Lot 384 has a uniform slope falling downward to the east. The lowest part of the property is about 60m above the Australian Height Datum (AHD) at the eastern end of Lot 384 with the highest part being about 110m above AHD at the western end (refer Appendix 2).

Lot 384 is well weathered, is evenly sloping on its surface and is devoid of any distinctive land forms or natural features such as mounds, rocky outcrops, watercourses, scarps, or ravines.

4.4 Land Use

Lot 384 contains one existing dwelling and a shed (7.5m x 25m). The remaining area contains scattered remnant native trees. The lot is not used for agriculture and the owners consider it unsuitable for pasture and grazing at a viable scale.

4.5 Vegetation and Fauna

A Flora/Vegetation and Fauna Assessment (Vegetation Assessment) was undertaken on 17 April 2019 and is contained in Appendix 6A.

Lot 384 is covered in grass with scattered trees that are concentrated around the existing dwelling and shed in the northern-western portion of the lot. The southern portion of Lot 384 is cleared except for a large stand of trees in the south-east portion of the site.

The study identified Jarrah and Marri tree species on site that provide habitat for the Carnaby's Cockatoo (Endangered), Baudin's Cockatoo (Endangered) and Forest Red-tailed Black Cockatoo (Vulnerable). These species are rare or likely to become extinct and the Red-tailed Cockatoo species was observed within Lot 384.

This expert assessment concludes that;

- a) the area proposed for clearing is in a generally degraded condition
- b) red tailed black cockatoos were observed on the site and the trees on the site along with the neighbouring state forest are likely to provide suitable habitat for these and other species.

The vegetation habitat assessment surveyed all trees greater than 300mm diameter at 1.2m above ground level. The data recorded for each of those trees includes species, height, condition, habitat value and structure. 86 trees have been identified as very high value habitat trees (scoring between 80 to 100). Outlined in Table 2 the reduced lot size in Scheme Amendment 14 results in only 2% of these trees being identified for clearing versus Scheme Amendment 11 whereby approximately 35% of these were required to be cleared..

Appendix 3 attached comprises a map of remnant vegetation and threatened ecological communities produced using the Department of Parks and Wildlife's *NatureMap* (now Department of Biodiversity Conservation and Attractions).

4.6 Water & Sewer Availability

Neither reticulated water, nor a reticulated sewerage service is available in the locality. It is expected given the size of the lots, potable water will be made available by roof water capture, as is typical for rural residential development. Under cl.4.41.2 of LPS7 a dwelling shall be provided with a rain water tank with a minimum capacity of 120,000 litres prior to occupation unless alternative arrangements are made to the satisfaction of the local government for a supply of potable water.

Sewage disposal shall be by an on-site system. A Site and Soil Evaluation (SSE) will be provided at the subdivision stage in accordance with the Government Sewerage Policy. Given existing surrounding onsite disposal systems have operated for more than 30 years, onsite disposal is considered achievable.

5 LOCAL PLANNING CONSIDERATIONS

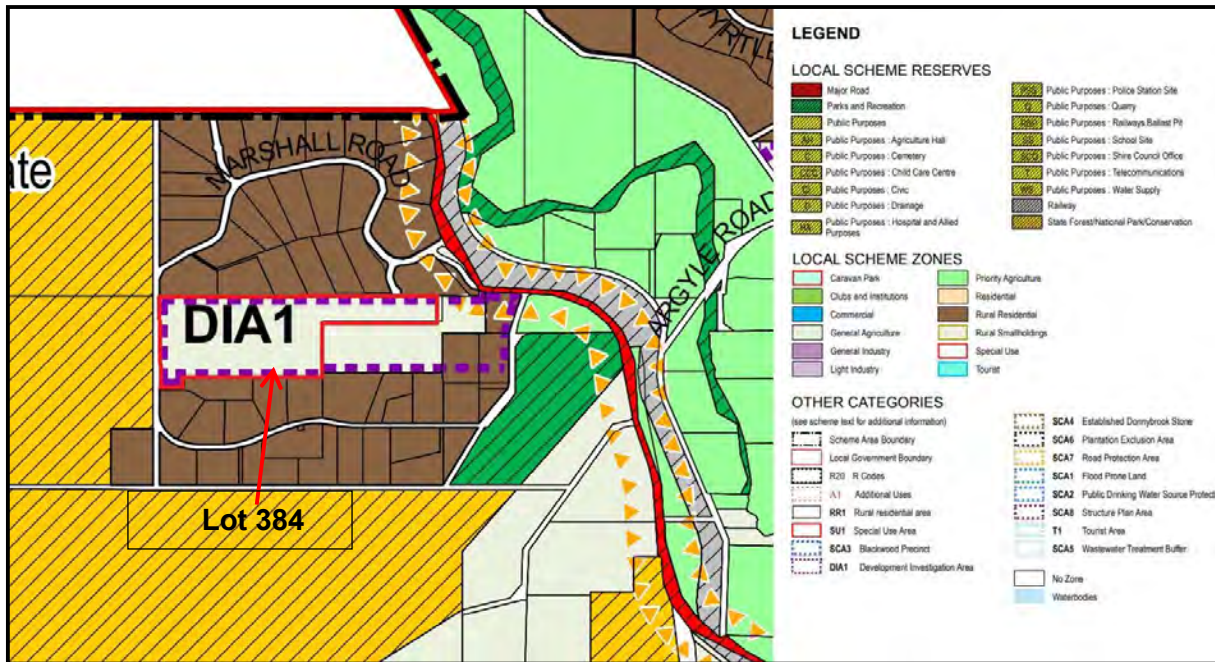
5.1 Shire of Donnybrook-Balingup Local Planning Scheme No. 7

The Shire of Donnybrook-Balingup Local Planning Scheme No. 7 (LPS7) was published in the Government Gazette on 19 September 2014. Under LPS7 Lot 384 is zoned 'General Agriculture' and forms part of 'Development Investigation Area 1' (DIA1) (see Figure 4).

Properties to the north and south of Lot 384 are zoned 'Rural Residential'. Lot 212 (1239) Gavins Road, Paynedale to the west of Lot 384 is a Local Scheme Reserve for State Forest and Lot 2 (30) Marshall Road, Argyle to the east is zoned 'General Agriculture' and also forms part of DIA1. Properties across the South Western Highway and Railway reserve further to the east are zoned 'Priority Agriculture.'

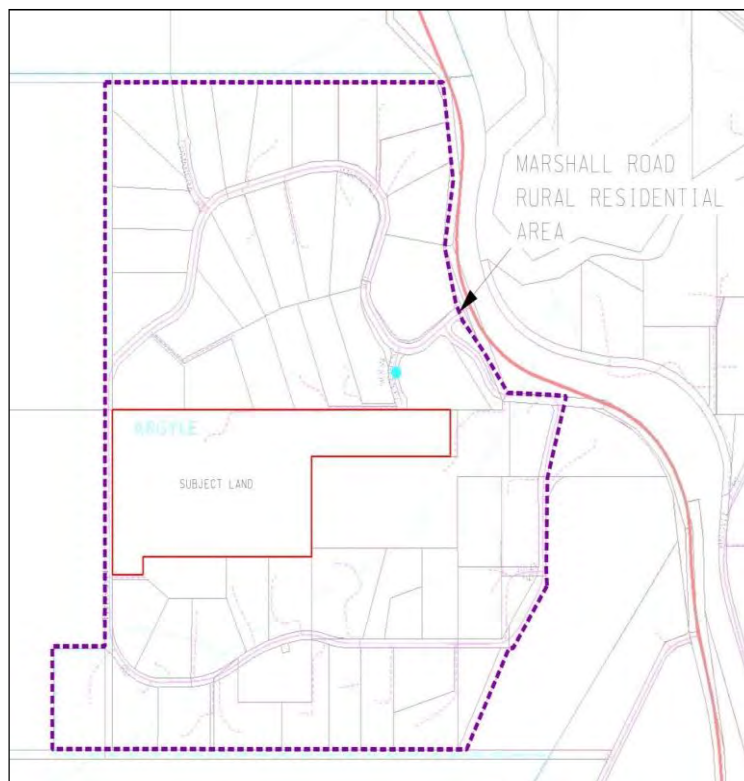
Figure 4 provides an extract from the LPS7 Scheme Map and Figure 5 shows the area referred to as the Marshall Road Rural Residential Area (MRRRA).

FIGURE 4 – SHIRE OF DONNYBROOK-BALINGUP SCHEME MAP EXTRACT



Source: Shire of Donnybrook-Balingup, Civil Technology

FIGURE 5 – MARSHALL ROAD RURAL RESIDENTIAL AREA (MRRRA)



Source: PlanWA, Civil Technology

Under LPS7 an owner of land requesting rezoning of a site to “Rural Residential” are to provide a submission addressing the zoning requirements under cl.4.52.2.1 (i) to (xiii).

While clause 4.52.2.1(xiii) of LPS7 requires the preparation of a structure plan, the listed considerations at cl. 4.52.2.1(i) to (xii) can all be addressed partly via this Amendment 14 (eg. Bushfire Management Plan) and via a future subdivision application (eg. Site and Soil

Evaluation). This is consistent with Scheme cl. 4.52.2.2, 4.52.2.3 and deemed provision cl.15 of the Planning and Development (Local Planning Schemes) Regulations 2015 which both provide the discretion to require structure planning only if considered necessary for orderly and proper planning.

Other requirements have been addressed in sections 1 to 4 of this scheme amendment report.

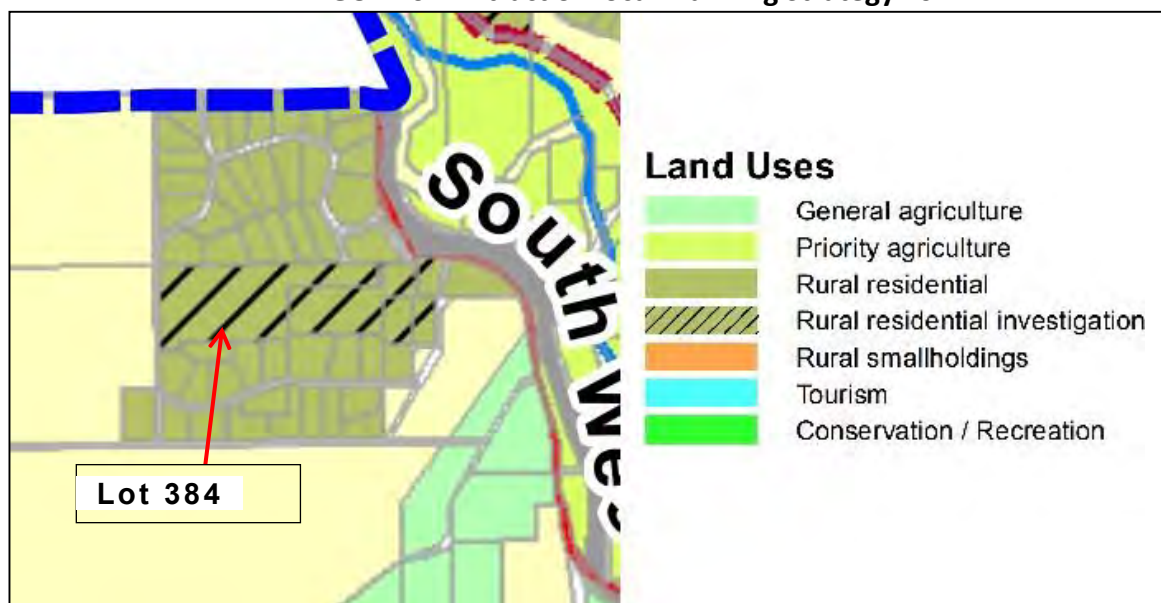
Further to those requirements outlined in cl.4.52.2.1 of LPS7 the following matters relevant to DIA1 as listed under Schedule 13 of LPS7 are also to be addressed at structure plan stage.

Matters to be addressed in structure plan (if applicable)	Compliance
a) The protection of native vegetation that has been identified as worthy of protection by the Department of Parks and Wildlife (now Department of Biodiversity Conservation and Attractions) and the local government.	The subdivision layout as depicted on the concept subdivision plan demonstrate a design that considers the vegetation worthy of protection and minimizes the clearing of vegetation as a result of the reduced number of lots. The lots being larger in size provides further flexibility of where the building envelopes are to be placed again reducing the clearing of vegetation.
b) Identification of building envelopes within the larger lots to protect vegetation.	
c) The provision of safe access to the existing local road network.	This proposal will result in the upgrade of a portion of Marshall Road fronting the subdivision site and the construction of the portion of Stempel Nook providing access to new lots
d) Fire management associated with the close proximity to State Forest.	A Bushfire Management Plan accompanies the proposal and presents a comprehensive approach to improving bushfire safety and emergency access for both current and future residents of the MRRRA.

5.2 Local Planning Strategy Draft 2024

Local Planning Strategy 2014 (LPS2014) identifies Lot 384 for 'Rural Residential Investigation'. In January 2024 draft Local Planning Strategy 2024 (draft LPS2024) was advertised for public comment. Under the draft LPS2024 Lot 384 forms part of Planning Area 'A' with a land use dedication of "Rural Residential" and a proposed lot yield of 16. Draft LPS2024 outlines additional considerations to be addressed prior to rezoning and/or subdivision of the site.

FIGURE 6 – Extract of Local Planning Strategy 2014



Source: Shire of Donnybrook-Balingup, Civil Technology

Under the draft LPS2024 Section 3.1 clause (f) the local government may vary the requirement for a structure plan to be prepared where a suitable road connectivity between lots can be provided for within a Scheme Amendment and /or subdivision proposals.

The proposal satisfies this consideration with no need for a structure plan to be prepared as the concept lot layout contained in Figure 7 demonstrates the extension of Stremmel Nook to the south that provide suitable access to Lot 2; and Marshall Road is proposed to be sealed at subdivision stage improving the connectivity through the larger MRRRA.

In addition to the “Minimum Considerations for all Planning areas” as listed under Section 3.1 of the draft LPS2024 the following “Additional Considerations” applies to Planning Area “A”:

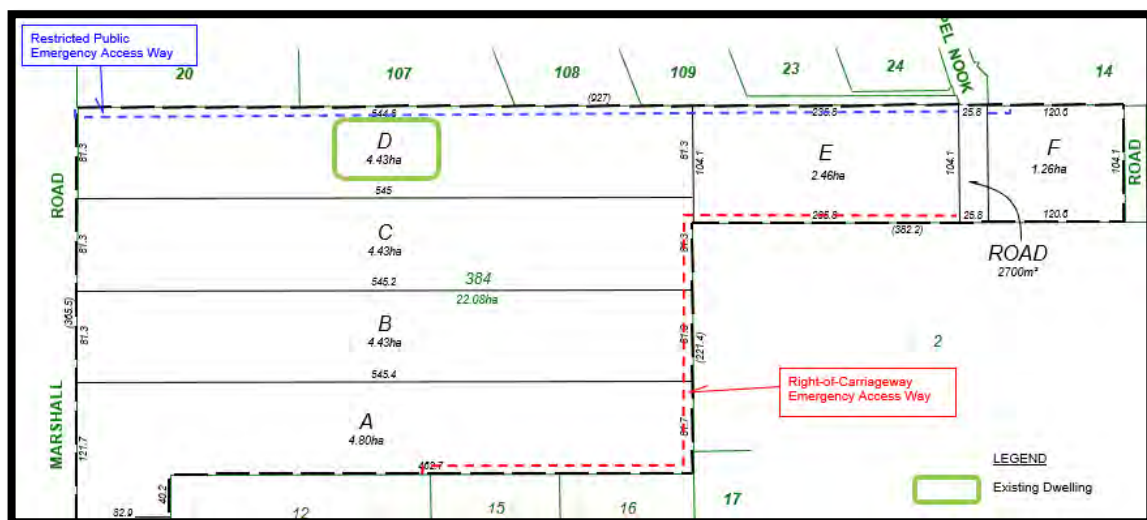
Matters to be addressed in structure plan (if applicable)	Compliance
a) A secondary road access as per the requirements of SPP 3.7 and the BHL assessment is to be identified in any future Scheme Amendment / Structure Plan and constructed to the satisfaction of the Shire as a condition of the subdivision of land.	The Bushfire Management Plan has investigated three options for a secondary road access and proposes implementation of Emergency Access Way (EAW1) as the preferred option as it is strategically positioned to provide the most accessible and pragmatic route to the South Western Highway.
b) If secondary access cannot be achieved, the Shire may consider a reduced lot yield subject to review and approval by the DPLH in consultation with DFES.	The Bushfire Management Plan identifies Emergency Access Way (EAW1) as the secondary road access and proposes a reduced lot yield of six lots for Lot 384 instead of the proposed lot yield of 16 under draft LPS2024 which is for both Lot 384 and the adjoining Lot 2.

<p>c) With reference to Part 1, Section 3.1 (i) and (j), existing local roads subject to upgrade may include, but are not limited to: Strempel Nook and Marshall Road (or part thereof).</p>	<p>The proposal imposes provisions under RR2 that will result in upgrade of the portion of Marshall Road fronting the subdivision site to a sealed/ bitumen standard; and construction of the portion of Strempel Nook providing access to new lots.</p>
<p>d) Building envelopes to be established including provision for APZs under SPP 3.7 and protection of native vegetation.</p>	<p>The Bushfire Management Plan demonstrates that a 20 metre APZ can be achieved on all lots which enables BAL–12.5. The proposed subdivision concept layout minimizes the clearing of vegetation as a result of the reduced number of lots and the lots being larger in size with further flexibility of where the building envelopes are to be placed.</p>

6 PROPOSED AMENDMENT

Scheme Amendment 14 seeks to amend the zoning of Lot 384 from ‘General Agriculture’ to ‘Rural Residential’ under LPS7 to enable the subdivision of the lot in accordance with the lot layout depicted in Figure 7 below, also contained in Appendix 4A.

FIGURE 7 – NEW PROPOSED CONCEPT SUBDIVISION PLAN



Source: Thompson Surveying

The subdivision layout results in six lots ranging from 1.26ha to 4.8ha in area. The extension of Strempel Nook to the south not only provide access to Lot E and Lot F it also enhances the future subdivision potential of Lot 2 which will have access to this road. The existing dwelling on Lot 384 and associated shed are proposed to be retained on Lot D. Lot A, B, C, and D will obtain access from Marshall Road which will be sealed at subdivision stage improving access and egress during an unforeseen bushfire event. Further to this, a secondary fire emergency evacuation route is proposed with further detail regarding this addressed under Part 6.1 of this report.

6.1 Bushfire Risk Assessment

The updated Bushfire Management Plan (BMP) for Scheme Amendment 14 contained in Appendix 5A and summarized in Figure 8 presents a comprehensive approach to improving bushfire safety and emergency access for both current and future residents of the MRRRA. In response to previous concerns about bushfire risk, the updated BMP includes several key improvements which will enhance the wider legacy sight of the Marshall Road Locality.

The plan enhances the area by proposing;

- a) an internal Right of Carriageway Emergency Access Way (EAW) which will provide emergency access to Stempel Nook
- b) include a Restricted Public Emergency Access Way serving both as a driveway for Lot D and an emergency route for other residents
- c) assessment of possible EAWs
- d) inclusion of a 50,000L water take for wider firefighting services in preference to individual 10,000L land owner tanks
- e) upgrade of the western section of Marshall road.

The inclusion of EAW1, which connects Marshall Road directly to the South Western Highway, via the previously utilized public entry way. This access point offers dual-direction access, enhancing the safety and evacuation options for residents. Notably, EAW1 allows Fire Emergency Services quick access to a critical water source located in front of 165 Marshall Road, with a second 50,000L water tank to be provided at subdivision stage as part of the implementation of the BMP in preference to individual 10,000 water tanks.

The benefits of EAW1 extend beyond emergency response. EAW1 is a safer evacuation route due to its location away from the most hazardous vegetative areas. Its line of sight upon exiting onto the South Western Highway is approximately 160 meters. Additionally, EAW1 is the preferred option due to the shortest length, its minimal ongoing maintenance costs and environmental impact due to the low vegetation clearance required. While the speed zone is 110km/h, during an emergency it is not only anticipated that there will be changes driving conditions which will reduce the traffic speed and historically in the event of a major emergency this road section is closed enabling safe egress from the area.

The revised BMP addresses earlier concerns regarding vegetation classification, bushfire hazard assessments, and emergency access effectively. By incorporating these changes, the plan not only meets safety guidelines but also ensures that both existing and future residents benefit from improved fire management and emergency preparedness. Overall, the updated BMP offers a comprehensive strategy for mitigating bushfire risk and enhancing community safety.

EAW 1 provides the most accessible and pragmatic access to the nearest major public road giving access in two different directions.

FIGURE 8 – PROPOSED EMERGENCY ACCESS WAY OPTIONS ONTO SOUTH WESTERN HIGHWAY



FIGURE 9 – ADDITIONAL EMERGENCY ESCAPE OPTIONS



FIGURE 10 – BUILDING ENVELOPES WITH 20M APZ ACHIEVE BAL-12.5

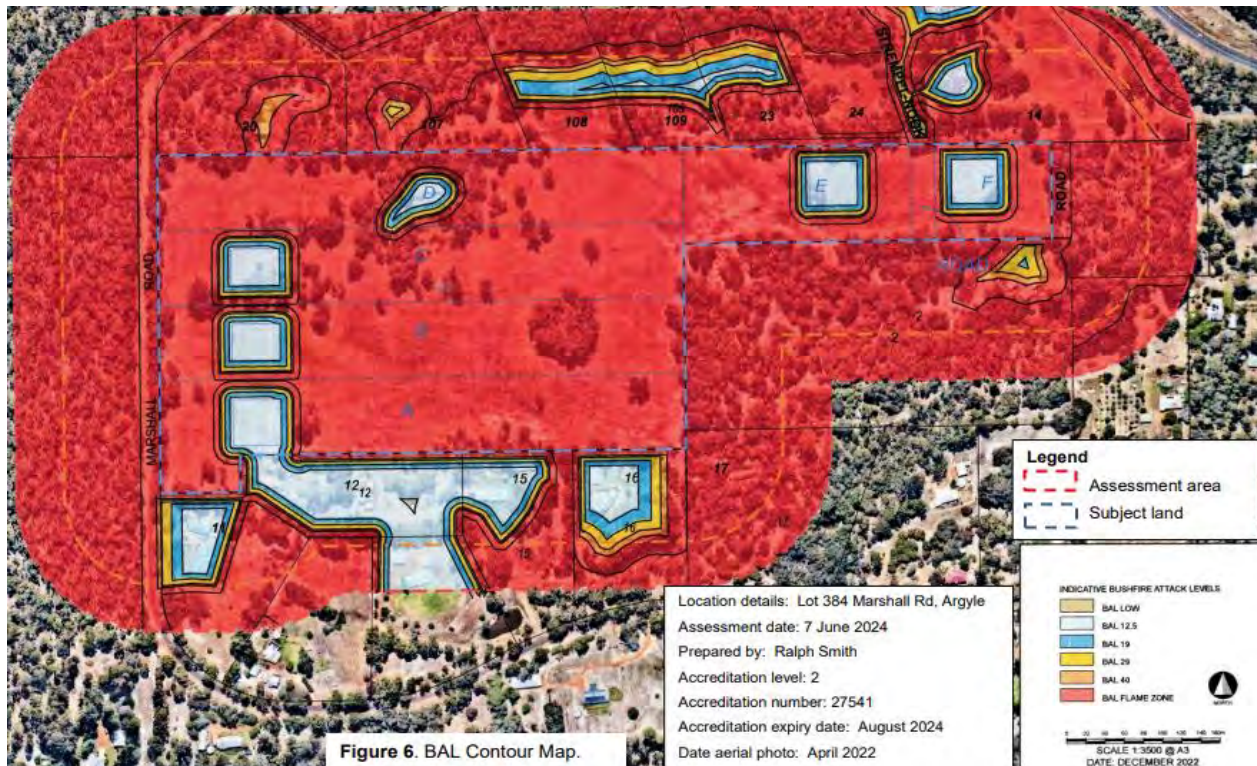


Figure 6. BAL Contour Map.

There is a requirement in the BMP for a 20 metre APZ to be achieved. The BMP identifies possible building envelopes which all align with this requirement resulting in all envelopes achieving a BAL–12.5.

6.2 Land Capability

According to the *Donnybrook Water Reserve Drinking Water Source Protection Plan* and the *Map of Sewage Sensitive Areas*, Lot 384 is not located within a public drinking water source area or sewage sensitive areas. The height of the land above sea level and the soil types as outlined above, the observation that similarly elevated landforms to the north and south of Lot 384 is subdivided to a rural-residential nature and are supporting dwellings incorporating on-site effluent disposal systems, suggest that the land is capable of supporting onsite effluent disposal. A Site and Soil Evaluation will be provided with a subdivision application in accordance with the provisions of the Government Sewer Policy 2019 and draft State Planning Policy 2.9 Planning for Water.

6.3 Vegetation and Fauna

A Vegetation and Habitat Assessment was undertaken by SJ Smith and Associates Environmental and Landscape Management (Tree Assessor) in April 2019. According to the Department of Biodiversity, Conservation and Attractions, there are no threatened ecological communities within or surrounding Lot 384 (refer Appendix 3). The subdivision layout as depicted on the concept subdivision plan demonstrate a design that minimize the clearing of vegetation as a result of the reduced number of lots and the lots being larger in size offering flexibility of where the building envelopes are to be placed on site to reduce the clearing of vegetation.

A prior assessment of this lot via Scheme Amendment 11 was supported by Department of Biodiversity, Conservation and Attractions.

All vegetation within Lot 384 is to be retained except for:

- one tree located on the boundary fence where the road reserve for the extension of the Strempe Nook is proposed.
- 2 trees may need to be cleared as part of the Asset Protection Zones for the future dwelling on Lot F and the right of carriage way in order to comply with State Planning Policy 3.7 and the *Guidelines for Planning in Bushfire Prone Areas* (Guidelines).

FIGURE 11 – VEGETATION IMPACT PLAN – Habitat tree survey plan (App. 6B)

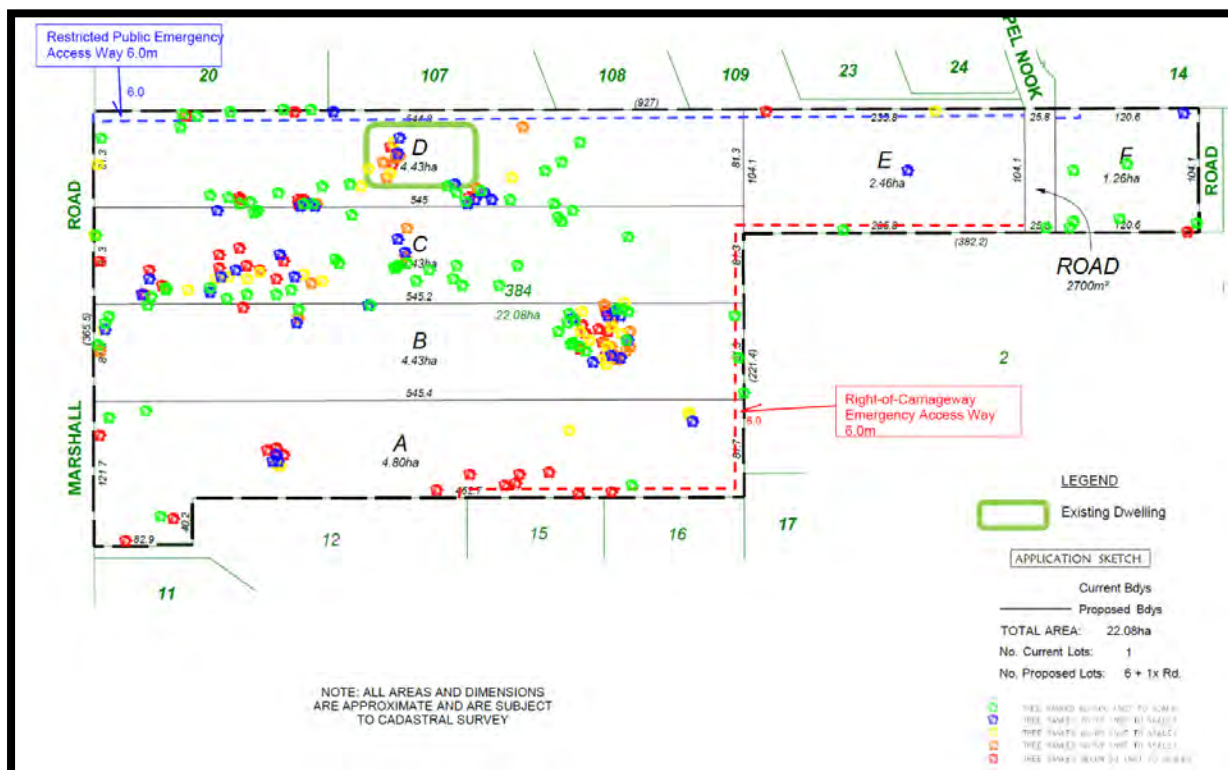


TABLE 2 – COMPARISON OF HABITAT TREE REMOVAL BETWEEN AMD11 AND AMD14

Tree Score	# Trees	Amendment 11 Count		Amendment 14 Count	
		# to Clear	% to Clear	# to Clear	% to Clear
50-59	23	4	17%	0	0%
60-69	32	7	22%	0	0%
70-79	38	10	26%	0	0%
80-100	86	30	35%	2	2%
SUBTOTAL	179	51	28%	2	1%
Below 50	46	46	100%	46	100%
TOTAL	225	97	43% of trees	48	21% of trees

Note: The above tree clearing quantities are based on the assessment undertaken in Appendix 6A & 6B.

6.4 Concept Subdivision Layout

As mentioned under Section 5.2, under the draft LPS2024 Section 3.1 clause (f) the local government may vary the requirement for a structure plan to be prepared where a suitable road connectivity between lots can be provided for within a Scheme Amendment and /or subdivision proposal. The concept subdivision plan demonstrates that by extending Strempel Nook there is sufficient access to Lot 2, facilitating future development if needed. This is considered to meet the road connectivity requirements of LPS 2024 Section 3.1 clause (f).

Additionally under LPS7 while clause 4.52.2.1(xiii) requires the preparation of a structure plan, the listed considerations at cl. 4.52.2.1(i) to (xii) can all be addressed partly via this Amendment 14 (eg. Bushfire Management Plan) and via a future subdivision application (eg. Site and Soil Evaluation). This is consistent with Scheme cl. 4.52.2.2, 4.52.2.3 and deemed provision cl.15 of the Planning and Development (Local Planning Schemes) Regulations 2015 which both provide the discretion to require structure planning only if considered necessary for orderly and proper planning.

No land within the proposed subdivision has been set aside for public open space (POS) due to WAPC policy requirements not requiring POS within rural-residential subdivisions. In addition, the proposed subdivision does not include pedestrian access ways or trails. These requirements are typically not required for rural residential living areas and not contemplated in LPS7.

The special conditions proposed to be included in Schedule 2 under RR2, include essential matters to be implemented at the subdivision stage. These aim to ensure that future subdivision adheres to planning policies and standards, enhancing both environmental protection and safety. Key conditions include the preparation of a local development plan, protection of native vegetation, and provision for firefighting infrastructure and emergency access. These measures will not only assist the subdivision of Lot 384 it will also improve the safety of all the residents in the Marshall Road Rural Residential Area.

6.5 Special Development Controls

Each new dwelling on the proposed rural residential lots will be confined to a building envelope (as per clause 4.52.6.4 of LPS7) with:

- a) minimum building setbacks 15 metres from a road boundary;
- b) minimum building setbacks 10 metres from other boundaries;
- c) a maximum area of 50m x 50m (i.e. 2500m²); and
- d) 100 meters from a boundary with State Forest, National Park, Nature Reserve, Reserve for Conservation or local government managed land.

Furthermore, as per the Guidelines, no future building envelope will be subject to a BAL rating greater than 29 and all future building envelopes enable a BAL 12.5 to be achieved.

6.6 Protection of Existing Character

The proposed subdivision of Lot 384 will create new larger lots varying in size from 1.26 to 4.8ha in area resulting in an average of 3.64 ha. With the exception of one, all proposed lot sizes will

be significantly larger than the existing rural residential lots within the current MRRRA (which have an average lots size of 2.2ha) ensuring the desired “variety” that LPS7 calls for within clause 3.3.2 (v) which states that “subdivision within the Rural Residential zone are to encourage a variety of lot sizes and appropriate designs which accommodate environmental opportunities and constraints and landscape protection requirements.”

LPS7 already refers to aspects of the character of an area. As per clause 4.52.3.1 (iii) to (v) of LPS7, the size of the lots within rural-residential zones is already dictated. As per clause 4.52.6.7 of LPS7, no building, outbuilding, water tank or fence shall be constructed of materials or be of a colour which would be detrimental to the character or natural landscape of the MRRRA. As per clause 4.52.6.12 of LPS7, boundary fencing will be post and minimum four strand wire, 1.0 to 1.3 metres high, or post and ring lock or similar. It is therefore considered that existing provisions within LPS7 provide necessary protection of the character of the MRRRA.

7 CONCLUSION

The proposed rezoning of Lot 384 from ‘General Agriculture’ to ‘Rural Residential’ will connect the existing northern and southern portions of rural residential lots within the MRRRA and “round off and consolidate” the MRRRA.

Additionally, this scheme amendment will result in:

- a) an upgrade to the existing road network with the construction of a portion of Marshall Road abutting proposed Lot A-D;
- b) an additional 50,000L strategic water tank for firefighting purposes that will be available for use for the benefit of the larger rural residential area;
- c) reduced lot yield from what is supported under the draft LPS2024 (and the previous proposal under Scheme Amendment 11) with resultant reduced traffic impact;
- d) a secondary road access via EWA1 for fire escape purposes in case of a bushfire;
- e) inclusion of 2 additional internal emergency evacuation options
- f) a reduced impact on the vegetation clearing by :
 - I. less high value vegetation being removed; and
 - II. less nutrient impact on ground water due to less lots being created.

This report confirms that the proposed scheme amendment is consistent with the planning framework and that Lot 384 is suitable and capable for accommodating the proposed use.

The support of the WAPC and the Hon Minister for Planning is requested to approve the scheme amendment to rezoning lot 384 from ‘General Agriculture’ to ‘Rural Residential’ subject to the provisions under RR2.

WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

1508 889

RECORD OF CERTIFICATE OF TITLE

UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 384 ON DEPOSITED PLAN 153579

REGISTERED PROPRIETOR: (FIRST SCHEDULE)

SCAFFIDI SUPER COMPANY PTY LTD
IN 25/100 SHARE
CHERRY VIEW ESTATE PTY LTD
IN 75/100 SHARE
BOTH OF 30 SAN MARCO PROMENADE PELICAN POINT WA 6230
AS TENANTS IN COMMON

(T P211883) REGISTERED 11/7/2022

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS: (SECOND SCHEDULE)

1. B566557 EASEMENT BENEFIT SEE SKETCH ON VOL 1508 FOL 889. REGISTERED 2/8/1978.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1508-889 (384/DP153579)
PREVIOUS TITLE: 20-128A
PROPERTY STREET ADDRESS: 28 MARSHALL RD, ARGYLE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF DONNYBROOK-BALINGUP

NOTE 1: A000001A PENDING SURVEY - DIAGRAM 42370.

RIDGETOWN

Lot No. Bojanup A.A. Lot 384	District Wellington	C.P. No. 68-384	Name of Applicant Address: D.M. Jolly	Acreage 54a. in 35p.	File No. H.O. 1906-31 D.O. 52-16
------------------------------------	------------------------	--------------------	--	-------------------------	--

Azimuth observed at WB94 Lot 213
 Or assumed from 56.5 1931
 Date of marking 67 Page 4
 Field Book No. 67 chains to an inch.
 Scale 8 chains to an inch.
 Public Plan No. 214/10 Division B.I.

REFERENCE TO TREES.

Corner	Bearing	Distance in feet	No. and Mark on Tree	Description of Tree
A				
B				
C				
D				
E				
F				

SURVEYOR'S CERTIFICATE.

I hereby certify that this Survey was performed by me personally, (or under my own personal supervision, inspection and field check) in strict accordance with the Regulations for the Guidance of Surveyors, and that this plan is in all respects accurate.

Date Jan 21/32 Licensed Surveyor W. H. H. H.

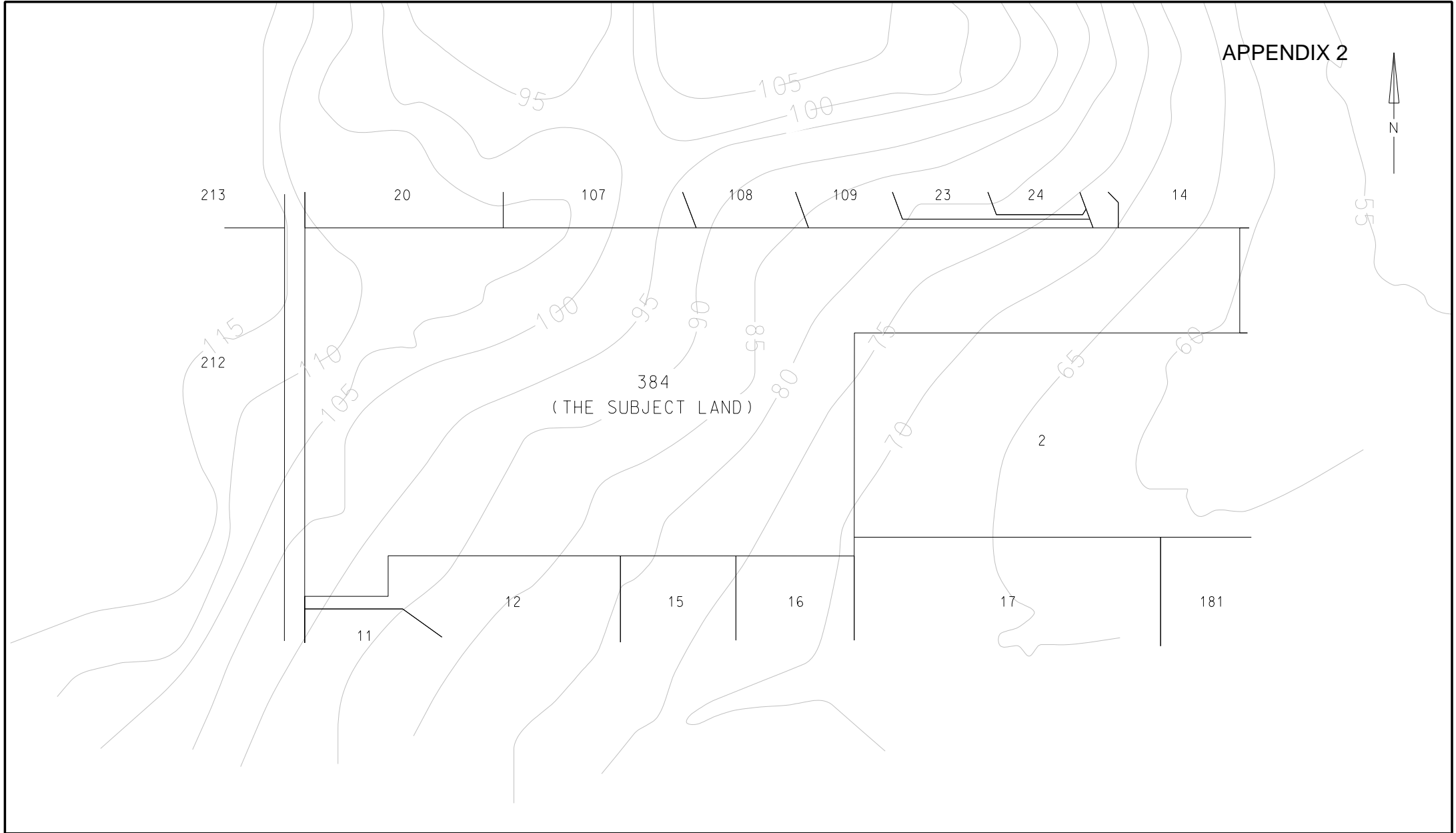
OFFICE REFERENCE.

Account No. Staff Paid
 Calculation Book No. 5 Fol. 24-26
 Chainage class N-10 E-3-8
 Angular class 7-15
 Area 54.47409
 Compared with F.B. 00088865/1932
 Examined J. H. H. H.
 Diagram passed J. H. H. H.
 Date 14/3/32
 Surveyor W. H. H. H.
 Surveyor General J. H. H. H.
 On C.O. Public Plan
 On Standard Plan
 On Public Plan
 On Completion 123 Well.

DIAGRAM NO. 53579

Registered W. H. H. H. 22/1/32

negative 15 JULY 1932
Date



DESIGNED BY:
CIVIL TECHNOLOGY
CONSULTING CIVIL
AND STRUCTURAL ENGINEERS
15 CHARLES STREET
SOUTH PERTH W.A. 6151
PH: (08) 9367 2533
FAX: (08) 9367 8046

PLOT DETAILS:
925-SK-CONTOURS.dgn 30/10/2018

SCALE:

A4 - SCALE 1 : 20000

DATE:
30.10.2018

CORRIB KYLEMORE DEV. PTY LTD

PROPOSED SUBDIVISION OF
LOTS 384 MARSHALL ROAD, ARGYLE
EXISTING GROUND CONTOUR MAP
SHIRE OF DONNYBROOK-BALINGUP

W.A.P.C. No.:
TO BE ISSUED

DRAWING No.:
925-SK-CONTOURS

AMDT No.:
•

Marshall Road Rural Residential Area - Vegetation

Printed by Guest user on 30/10/2018

Query details :



Reference Layers

Major WA Towns

•

Major WA Towns

•

Major WA Towns

•

Roads

— Sealed

— Unsealed

— Track

Threatened Ecological Communities

■ Priority

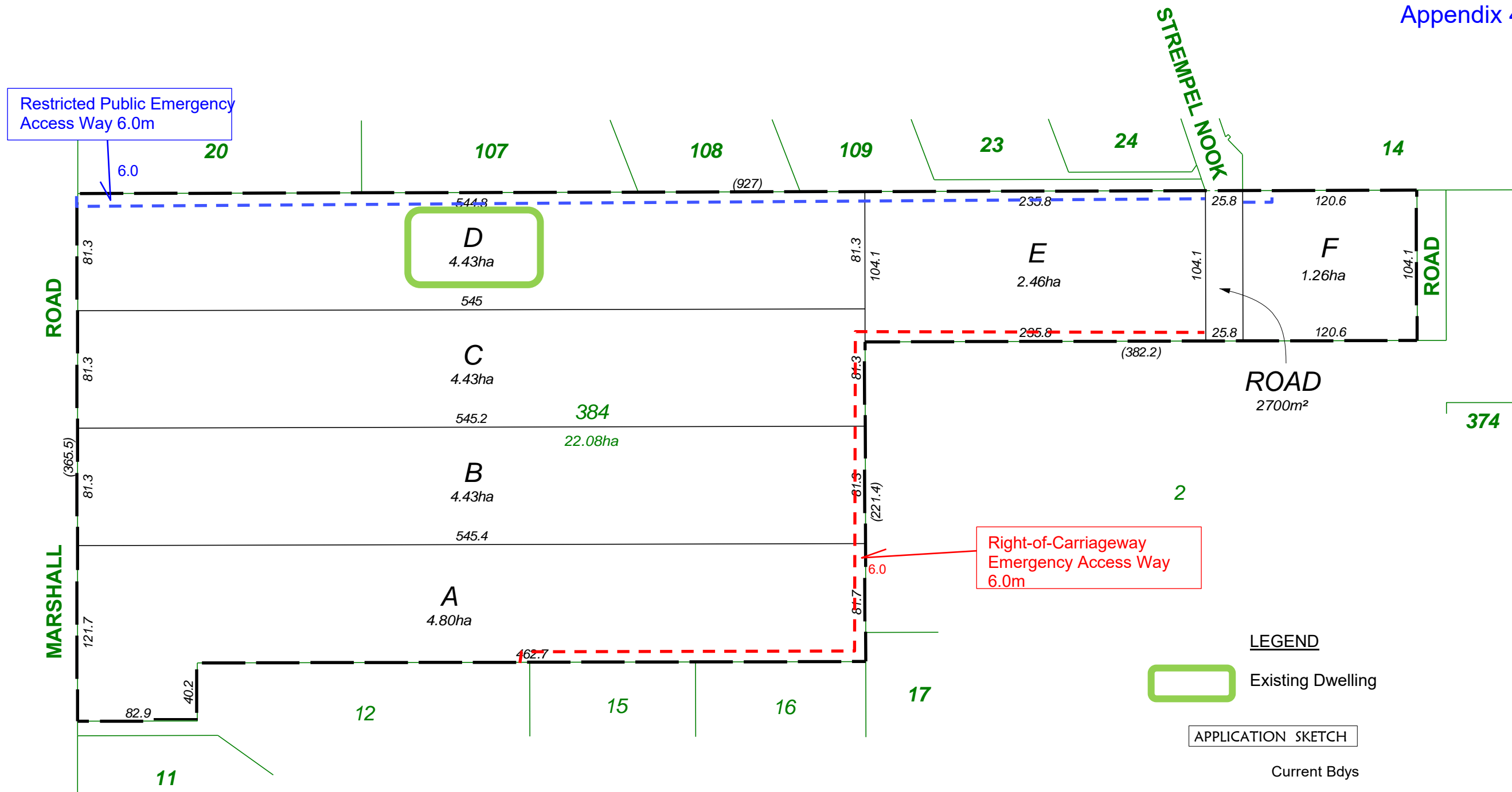
■ Threatened

State Borders

—

Remnant Vegetation (ILZ)

■



NOTE: ALL AREAS AND DIMENSIONS
ARE APPROXIMATE AND ARE SUBJECT
TO CADASTRAL SURVEY



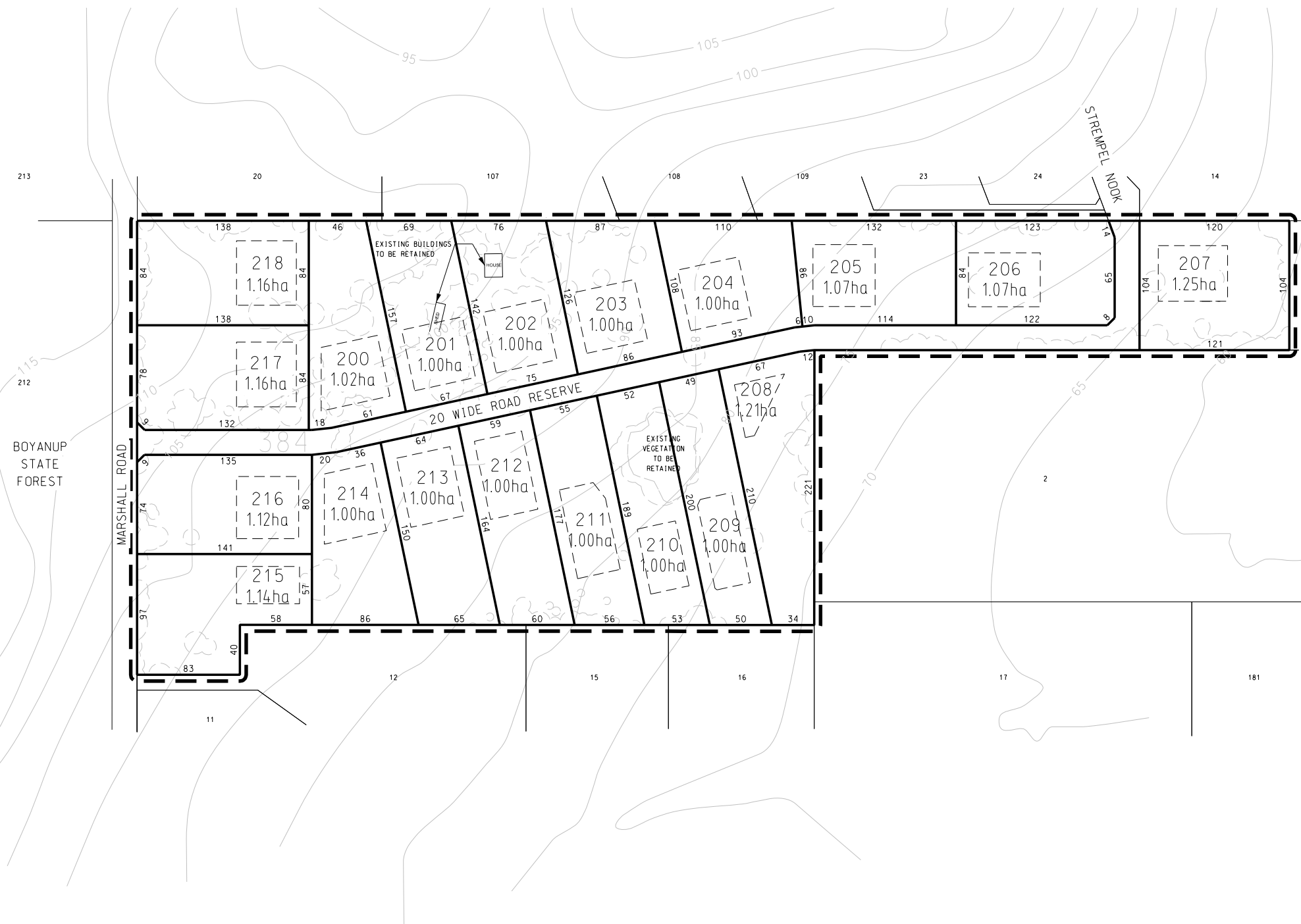
Innovators in Surveying Since 1952
Licensed Surveyors, Project Managers
& Engineering Surveyors
A.C.N. 008 938 903 ABN 78 008 938 903
Unit 6, 18 Casuarina Drive, Bunbury
PO Box 1719 BUNBURY WA 6231
Phone: (08) 9731 4000
Email: info@thompsons surveying.com.au

CLIENT:		T. SCAFFIDI		Date: 21/Nov./23		Drawn: Pb		Surveyor: JT		CHKd: JT	
PROJECT:		LOT 384 ON D.P. 153579 (C/T 1508/889), (# 28) MARSHALL ROAD, ARGYLE		File:		21298APP+BldEnv - DWG21298APP-Sheet1					
				Scale (@A3)		1:3000					
TITLE:		PROPOSED SUBDIVISION + BUILDING ENVELOPES		COPYRIGHT: This drawing is the property of THOMPSON SURVEYING CONSULTANTS and shall not be copied or reproduced in whole or in part for any other purpose than was originally intended unless written consent is given by THOMPSON SURVEYING CONSULTANTS.							
DATUM		HOR:		N/A		VERT:		N/A			
A.H.D. HEIGHTS DERIVED FROM :				N/A							

NOTE: All services plotted from information supplied by others, site verification required prior to construction. Boundary position is not deemed to be correct until a resurvey has been carried out. Check Certificate of Title for any easements etc. No responsibility accepted for changes occurring after date of survey.

REVISION SCHEDULE			Sheet 1 of 1
No.	Date	Description	
1	22/Nov./23	BUILDING ENVELOPES AMENDED	

March 2020 Recommended Proposal



— — — — — APPLICATION AREA
 ————— EXISTING LOT BOUNDARY
 218 ← PROPOSED LOT NUMBER
 1.16ha ← PROPOSED LOT BOUNDARY
 ← PROPOSED LOT AREA
 — 100 — EXISTING GROUND CONTOURS
 - - - - - PROPOSED BUILDING ENVELOPE
 □ EXISTING STRUCTURE
 - - - - - VEGETATION TO BE RETAINED

[illegible]



BUSHFIRE MANAGEMENT PLAN

**Lot 384 (No 28) Marshall Road, Argyle
Shire of Donnybrook-Balingup**



Prepared by Ralph Smith
SMITH BUSHFIRE CONSULTANTS Pty Ltd
BPAD 27541
smith.consulting@bigpond.com
0458 292 280

Site visited 25 July 2022; Report completed 13 June 2024

Bushfire management plan/Statement addressing the Bushfire Protection Criteria coversheet

Site address: 28 Marshall Road, Argyle

Site visit: Yes ☒ No ☐

Date of site visit (if applicable): Day 21 Month May Year 2022

Report author: Ralph Smith

WA BPAD accreditation level (please circle):

Not accredited ☐ Level 1 BAL assessor ☐ Level 2 practitioner ☒ Level 3 practitioner ☐

If accredited please provide the following.

BPAD accreditation number: 27541 Accreditation expiry: Month August Year 2024

Bushfire management plan version number: 1.4

Bushfire management plan date: Day 13 Month June Year 2024

Client/business name: Tricia Scaffidi

	Yes	No
Has the BAL been calculated by a method other than method 1 as outlined in AS3959 (tick no if AS3959 method 1 has been used to calculate the BAL)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have any of the bushfire protection criteria elements been addressed through the use of a performance principle (tick no if only acceptable solutions have been used to address all of the bushfire protection criteria elements)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Is the proposal any of the following (see [SPP 3.7 for definitions](#))?

	Yes	No
Unavoidable development (in BAL-40 or BAL-FZ)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Strategic planning proposal (including rezoning applications)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Minor development (in BAL-40 or BAL-FZ)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
High risk land-use	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Vulnerable land-use	<input type="checkbox"/>	<input checked="" type="checkbox"/>

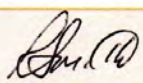
None of the above ☐

Note: Only if one (or more) of the above answers in the tables is yes should the decision maker (e.g. local government or the WAPC) refer the proposal to DFES for comment.

Why has it been given one of the above listed classifications (E.g. Considered vulnerable land-use as the development is for accommodation of the elderly, etc.)?

The information provided within this bushfire management plan to the best of my knowledge is true and correct:

Signature of report author



Date 13/6/2024

Table of Contents

Number	Page
1: Proposal Details	5
2: Environmental Considerations	8
2.1: Native Vegetation – modification and clearing	8
2.2: Re-vegetation / Landscape Plans	8
3: Bushfire Assessment Results	8
3.1: Assessment Inputs	8
3.2: Assessment Outputs	17
4: Identification of Bushfire Hazard Issues	17
5. Assessment against the Bushfire Protection Criteria	18
5.1: Compliance Table	18
6: Responsibilities for Implementation and Management of the Bushfire Measures	20
 List of Figures	
Figure 1. The copy of the plan showing the development application investigation area	5
Figure 2. Site plan for the subdivision	6
Figure 3. Map of Bushfire Prone Areas for the subject site	7
Figure 4. Pre-development Vegetation Classification Map	9
Figure 5. Post-development Vegetation Classification Map	10
Figure 6. BAL Contour Map	15
Figure 7. Contour map and slope	16
Figure 8. Spatial representation of the bushfire management strategies	19
 List of Appendices	
Appendix 1. Multiple access technical requirements	21
Appendix 2. Extract from the Shire of Donnybrook-Balingup Fire Break Order	24
Appendix 3. Three possible second access options	25
Appendix 4. Additional planned access options	32
Appendix 5. Map showing the Carnaby Cockatoo confirmed roost site buffered six kilometres	33
Appendix 6. Email accepting vegetation assessment older than 12 months	34
 References	 35

Full Content Detail

Document control

Report Version	Purpose	Author/reviewer and accreditation details	Date Submitted
1	Support the development application	Ralph Smith	20 October 2022
1.1	Text and map changes	Ralph Smith	8 November 2022
1.2	Revised lot layout and text changes	Ralph Smith	3 January 2024
1.3	Revised lot layout, access and text changes	Ralph Smith	9 June 2024
1.4	Revised lot layout, access and text changes	Ralph Smith	13 June 2024

DISCLAIMER

This Bushfire Management Plan has been prepared in good faith. It is derived from sources believed to be reliable and accurate at the time of publication. Nevertheless, this plan is distributed on the terms and understanding that the author is not responsible for results of any actions taken based on information in this publication or for any error or omission from this publication.

Smith Bushfire Consultants Pty Ltd has exercised due and customary care in the preparation of this Bushfire Management Plan and has not, unless specifically stated, independently verified information provided by others.

Any recommendations, opinions or findings stated in this report are based on circumstances and facts as they existed at the time Smith Bushfire Consultants Pty Ltd performed the work. Any changes in such circumstances and facts upon which this document is based may adversely affect any recommendations, opinions or findings contained in this plan.

Section 1: Proposal Details

This BMP has been prepared to accompany the proposal to amend the Shire's Local Planning Scheme No. 7 (**LPS 7**). Not all of the site is declared bushfire prone.

The development lot is proposed to be subdivided into rural residential lots comprising lots of varying sizes. All habitable lots created as part of the proposed subdivision will be serviced by roads and power.

The development lot is currently zoned 'General Agriculture'. The development lot is proposed to be re-zoned 'Rural Residential' and will be assessed as such for the purposes of this BMP. Land to the north and south is zoned 'Rural Residential' and subdivided as such. The abutting land to the east of the Subject Land is zoned 'General Agriculture'. The land to the west of Marshall Road is 'State Forest' and therefore prevented from any development. The land across the South Western Highway and railway line to the east is zoned for 'Priority Agriculture'.

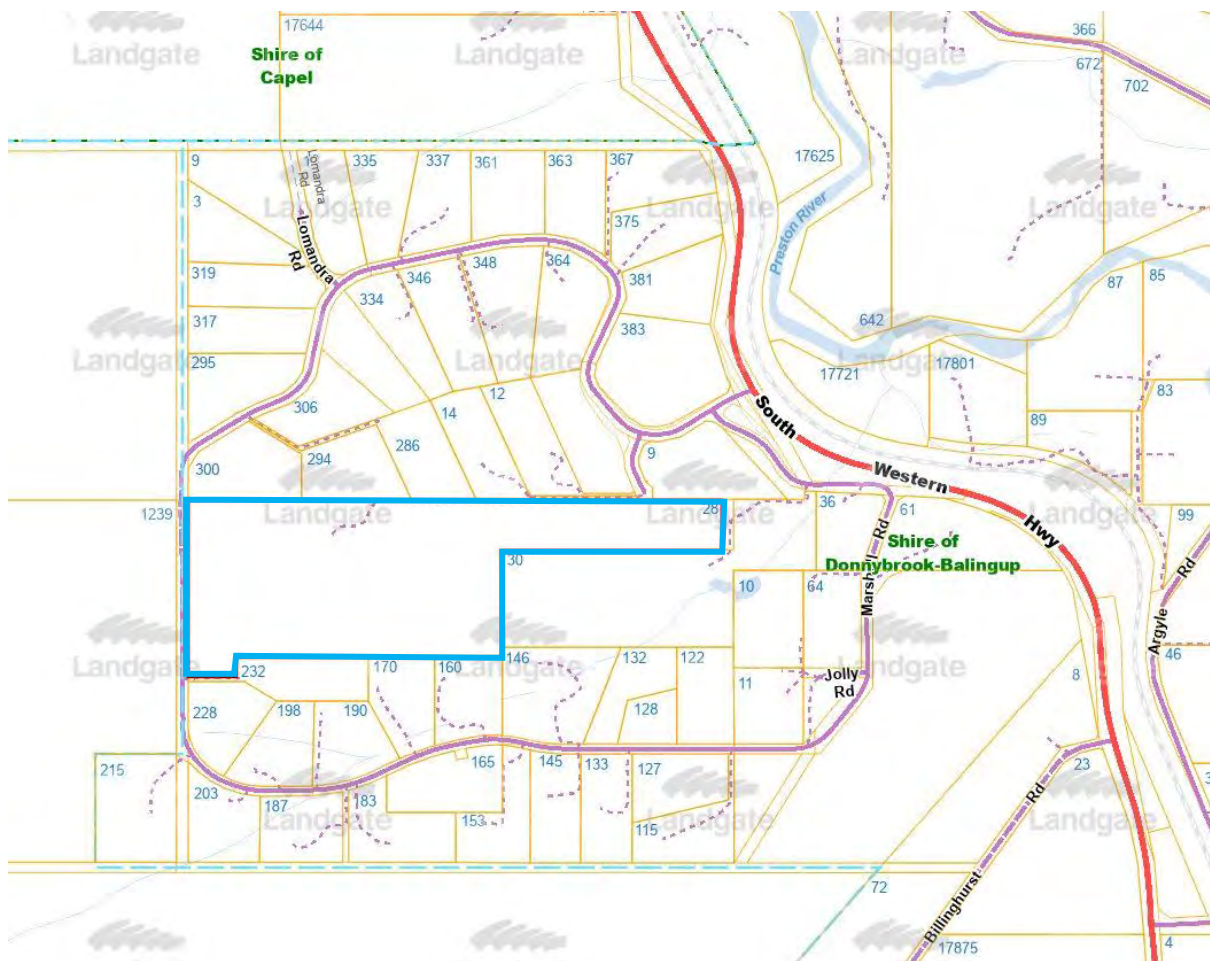
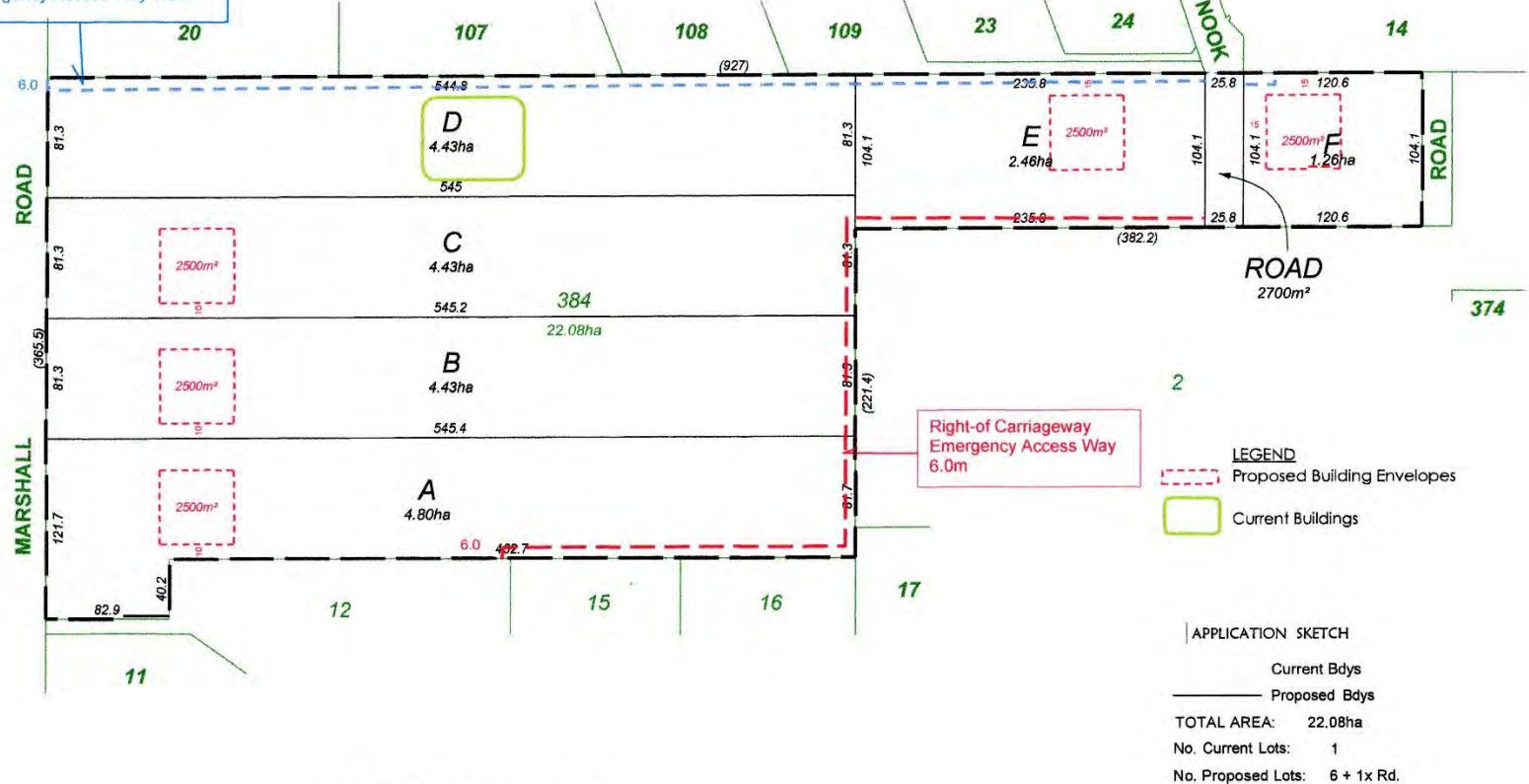



Figure 1. The copy of the proposed development investigation area.


Restricted Public
Emergency Access Way 6.0m



NOTE: ALL AREAS AND DIMENSIONS
ARE APPROXIMATE AND ARE SUBJECT
TO CADASTRAL SURVEY

LEGEND

 Proposed Building Envelopes

 Current Buildings

APPLICATION SKETCH

Current Bdys

— Proposed Bdys

TOTAL AREA: 22.08ha

No. Current Lots: 1

No. Proposed Lots: 6 + 1x Rd.


 <p>hompson surveying consultants</p> <p><i>Inventive in Surveying Since 1852</i></p> <p>Licensed Surveyors, Project Managers & Engineering Surveyors A.C.N. 008 938 903 ABN 78 008 938 903 Unit 6, 18 Casuarina Drive, Bunbury PO Box 1719 Bunbury WA 6231 Phone: (08) 9271 1111 Email: info@hompsonsurveying.com.au</p>	<p>CLIENT: T. SCARFFDI</p> <p>PROJECT: LOT 384 ON D.P. 153579 (C/T 1508/889), (# 28) MARSHALL ROAD, ARBY</p> <p>Scale (GRA3): 1:3000</p> <p>TITLE: PROPOSED SUBDIVISION - BUILDING ENVELOPES</p> <p>DATUM: NONE N/A VERB: N/A</p> <p>A.L.D. HEIGHTS DERIVED FROM: N/A</p>	<p>Date: 21/06/23 Drawn: PH Surveyor: JT CHS6 JT</p> <p>File: 2128RAPP+BlvEnv - DWG2128RAPP-Sheet1</p> <p>Scale (GRA3): 1:3000</p> <p>0 20 40 60 80 100</p> <p>DISCLAIMER: This drawing is the property of Thompson Surveying Consultants and shall not be copied or reproduced in whole or in part, by any other means than the original printed release without consent to be given by Thompson Surveying Consultants.</p>	<p>NOTE: All services provided from information supplied by others, and verification required prior to construction. Errors may be made in our drawings due to the nature of the information provided. We warrant that we have checked the information and are not aware of any errors. We accept no responsibility for any errors or omissions. We accept no responsibility for any errors or omissions. We accept no responsibility for any errors or omissions.</p> <table border="1"> <thead> <tr> <th colspan="3">REVISION SCHEDULE</th> </tr> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>22/06/23</td> <td>BUILDING ENVELOPES AMENDED</td> </tr> </tbody> </table> <p>Sheet 1 of 1</p>	REVISION SCHEDULE			No.	Date	Description	1	22/06/23	BUILDING ENVELOPES AMENDED
REVISION SCHEDULE												
No.	Date	Description										
1	22/06/23	BUILDING ENVELOPES AMENDED										
<p>\\BUND001\Company Data\JT_2128\DRAWING\APPLICATIONS\2128RAPP+BlvEnv.mxd - DWG2128RAPP-Sheet1</p>												

Figure 2. Site plan for the subdivision.

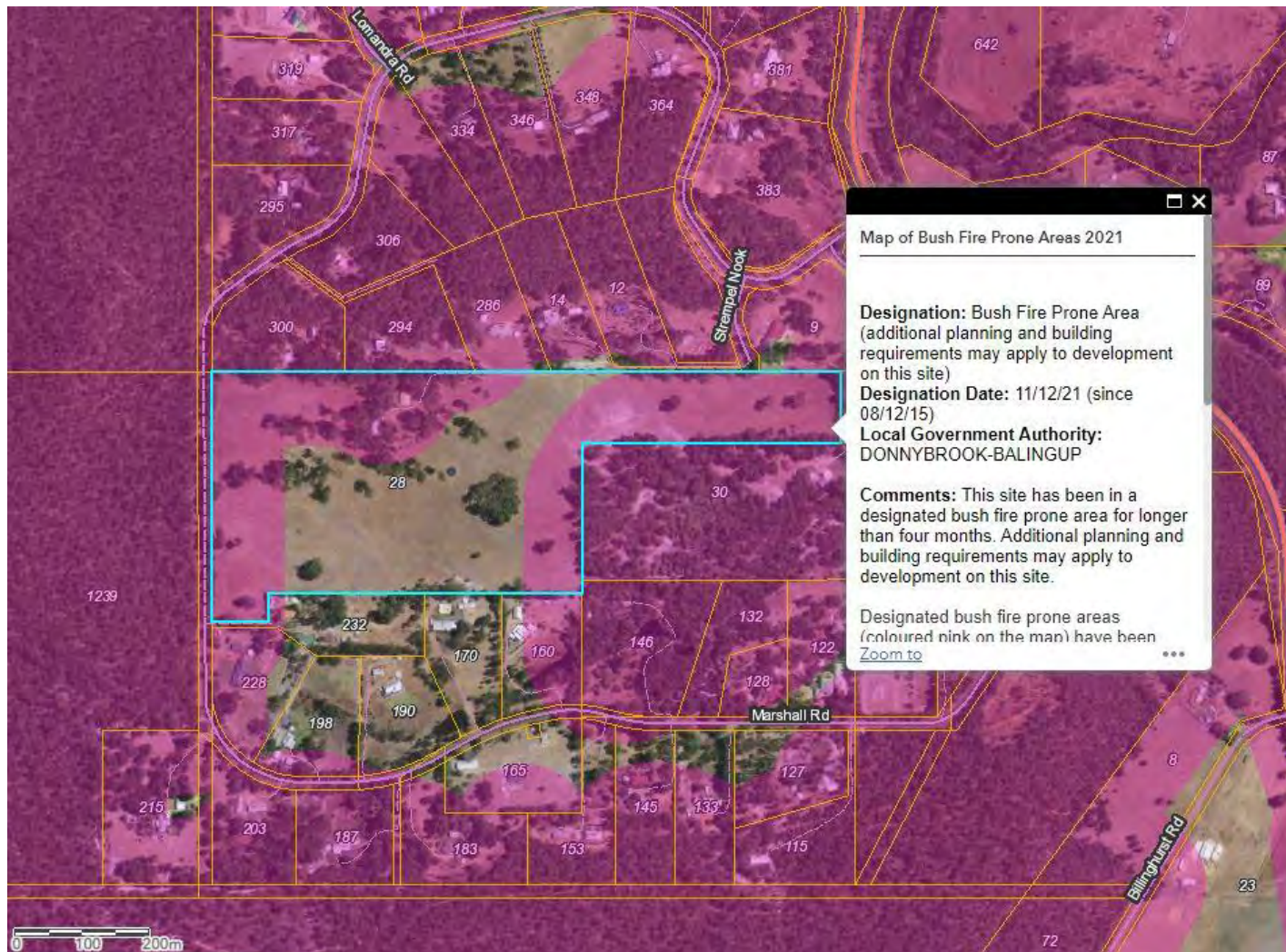


Figure 3. Screen shot of map of bushfire prone areas for the subject site.

The proposal is to develop the current large lot and create a number of smaller new lots. One lot will contain the current house, garage and other built assets. It is proposed that the new lots will ultimately have new dwellings located on the lots.

Section 2: Environmental Considerations

The State Planning Policy 3.7 recognises the need to consider bushfire risk management measures alongside environmental, biodiversity and conservation values. A desktop search has identified that the following are not registered for the development site or immediately surrounding area:

- Threatened and priority flora;
- Threatened and priority fauna;
- Contaminated site registration;
- Clearing Regulation – Environmental Sensitive area;
- Threatened ecological community;
- Black Cockatoo breeding sites – buffered; and
- Carnaby Cockatoo confirmed roost sites.

The desktop search identified that the Carnaby Cockatoo confirmed roost site buffered by six kilometres covers the development lot.

Subsection 2.1: Native Vegetation – modification and clearing

There will not be a need to clear significant areas of native vegetation as a component of this development. Future lots and dwellings will generally adapt to retaining the limited existing native tree overstorey vegetation, with areas of cleared land provided as Asset Protection Zones (APZs). There are significant areas of introduced pasture grass on the site that are currently grazed. The tree overstorey coverage on the site, is in the main, sparse, and constitutes less than 10% overstorey coverage.

Subsection 2.2: Re-vegetation/Landscape Plans

Relatively small areas of the sparse current overstorey and grass vegetation may be removed during the development and construction of the future dwellings and APZs. There may be cultivated gardens developed once people move into the dwellings, but this will not be a component of a site revegetation plan. Future development is required to take account of revegetation.

Section 3: Bushfire Assessment Results

Any dwellings located on the new lots have all been assessed as being Bushfire Hazard Level (BHL) rated of moderate, which permits development, and a BAL rating of BAL-29 or less as the State requires an APZ. The vegetation that will need to be removed has been assessed as grassland or grassland under a sparse open woodland overstorey.

Subsection 3.1: Assessment Inputs

The assessment inputs are shown in the forthcoming pages and are supported by a vegetation assessment, photographic evidence and text to support the vegetation assessment and a BAL Contour Map.

Site Assessment

The assessment of the proposed subdivision was undertaken on 25 July 2022 for the purpose of determining the BAL Contour Map and Vegetation Classification Map in accordance with AS 3959 (Method 1).

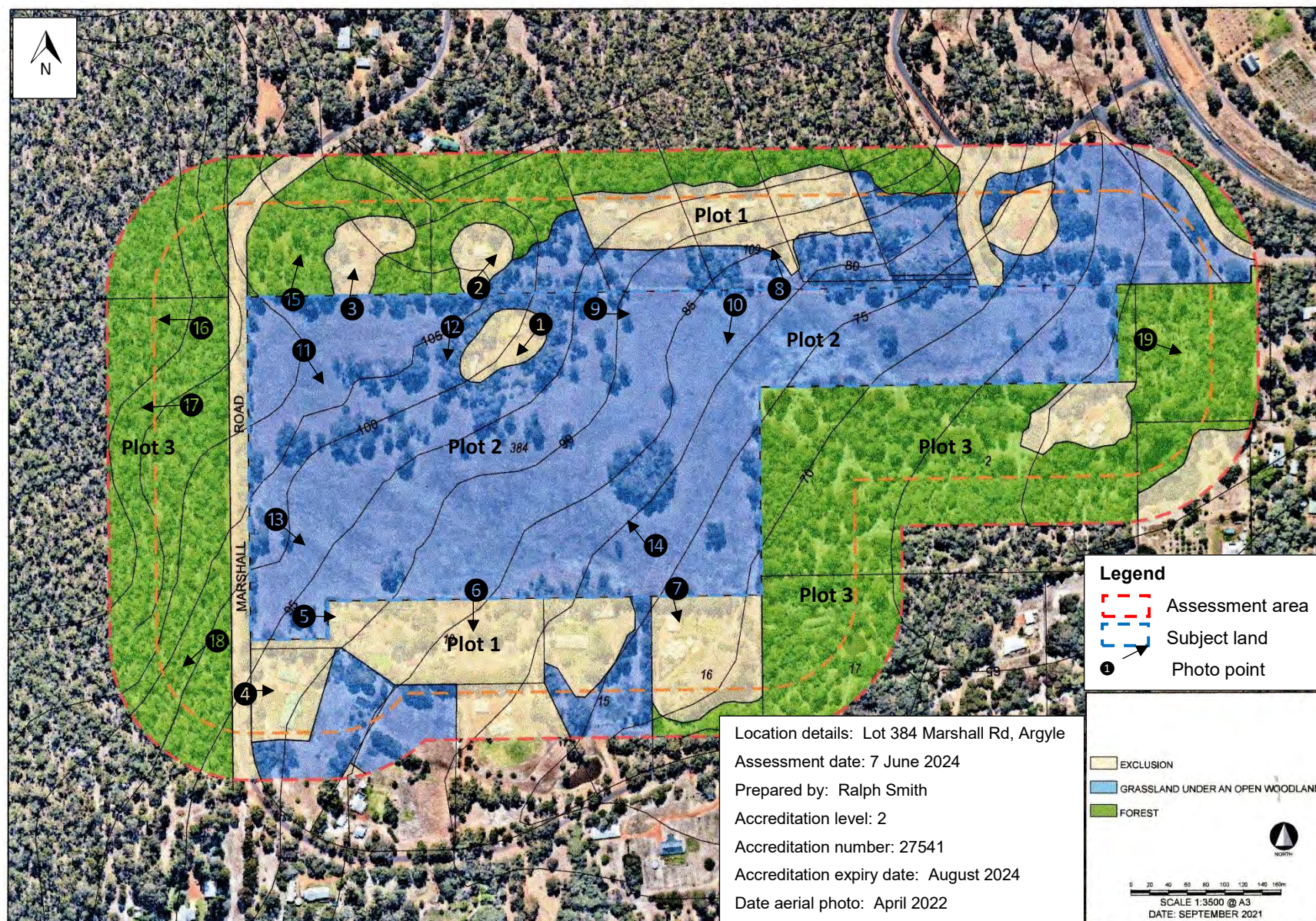


Figure 4. Pre-development Vegetation Classification Map.

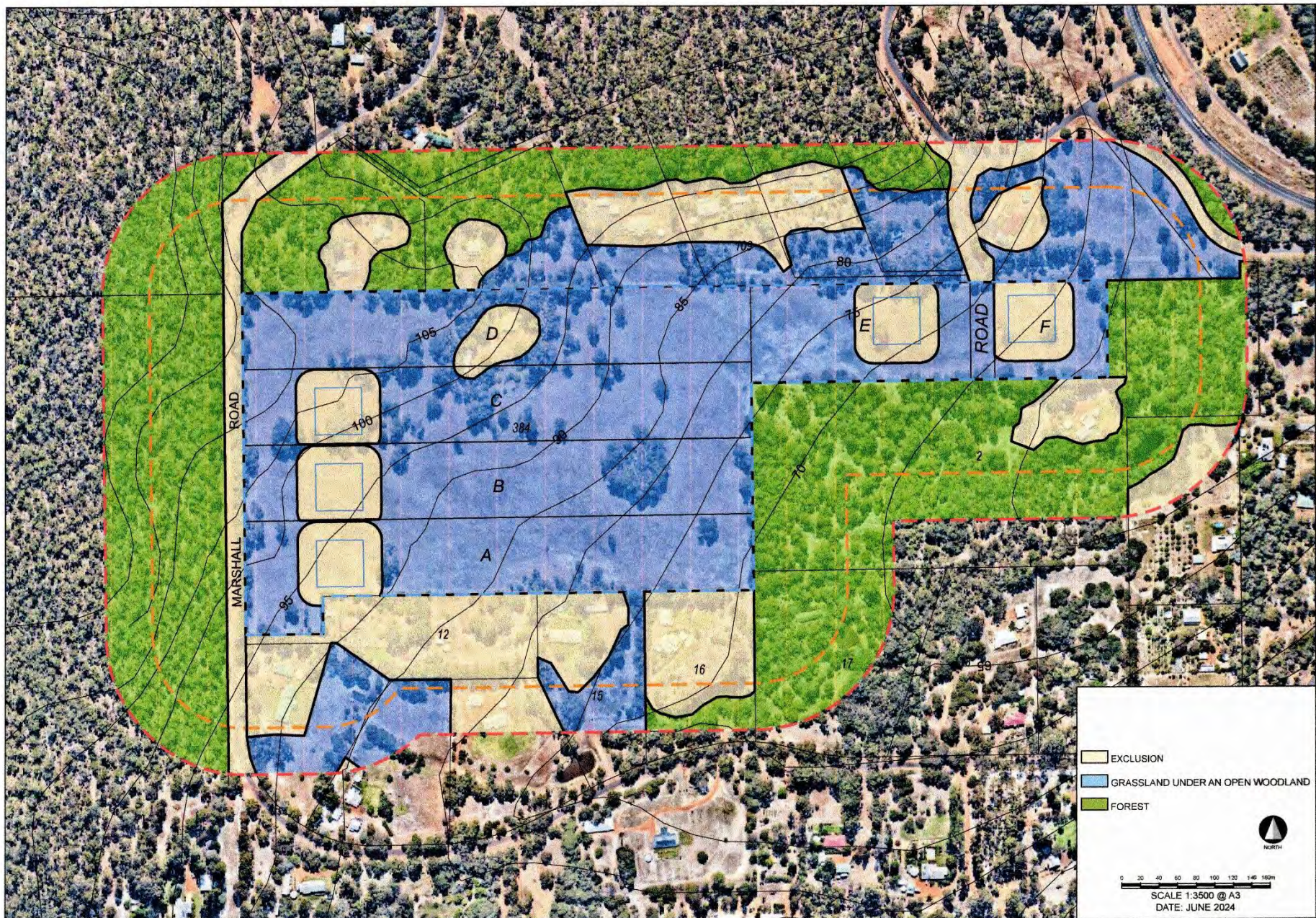


Figure 5. Post-development Vegetation Classification Map.

Vegetation Classification

All vegetation within 150 metres of the proposed subdivision as indicated on the site assessment plan was classified in accordance with the Western Australian Government criteria and Clause 2.2.3 of AS 3959 was applied. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below. AS 3959 only requires consideration of 100 metres between vegetation and the building and 50 metres between vegetation and the building for grassland.

Plot 1

Exclusion – Low threat vegetation and non-vegetated areas.
Clause 2.2.3.2 (e).



Photo ID: Photo 1 Looking at the current dwelling and APZ on the development site.



Photo ID: Photo 2 Looking at the neighbouring dwelling and APZ.



Photo ID: Photo 3 Looking at the neighbouring dwelling, APZ and sheds.



Photo ID: Photo 4 Looking at the neighbouring dwelling, APZ and sheds.



Photo ID: Photo 5 Looking at the grassland and the dwelling and APZ.



Photo ID: Photo 6 Looking at the dwelling and APZ on the neighbouring property.



Photo ID: Photo 7 Looking at the dwelling, APZ and shed on the neighbouring property.



Photo ID: Photo 8 Looking at the orchard, dwelling and APZ.

Plot 2

Class G – Grassland under an open woodland (AS 3959 classification – G – 06)



Photo ID: Photo 9 Looking at the grass and sparse overstorey trees.



Photo ID: Photo 10 Looking at the grassland under an open woodland on the development site.



Photo ID: Photo 11 Looking at the grassland under an open woodland.



Photo ID: Photo 12 Looking at the future grassland and the removed trees.



Photo ID: Photo 13 Looking at the grassland under an open woodland on the development lot.



Photo ID: Photo 14 Looking at the grassland on the development site.

Plot 3

Class A – Forest (AS 3959 classification – A – 03)



Photo ID: Photo 15 Looking at the forest and shed north of the development site.



Photo ID: Photo 16 Looking at the forest west of the development site.



Photo ID: Photo 17 Looking at the forest west of the development lot.



Photo ID: Photo 18 Looking at the forest west of the development lot.



Photo ID: Photo 19 Looking at the forest east of the development site.

Notes to Accompany Vegetation Classification

1. Plot 1

Exclusion – Low threat vegetation and non-vegetated areas
Clause 2.2.3.2 (e) and (f)

This plot comprises the dwellings, sheds and asset protection zones on the development lot and neighbouring lots. It also includes the roads that service the development site.

2. Plot 2

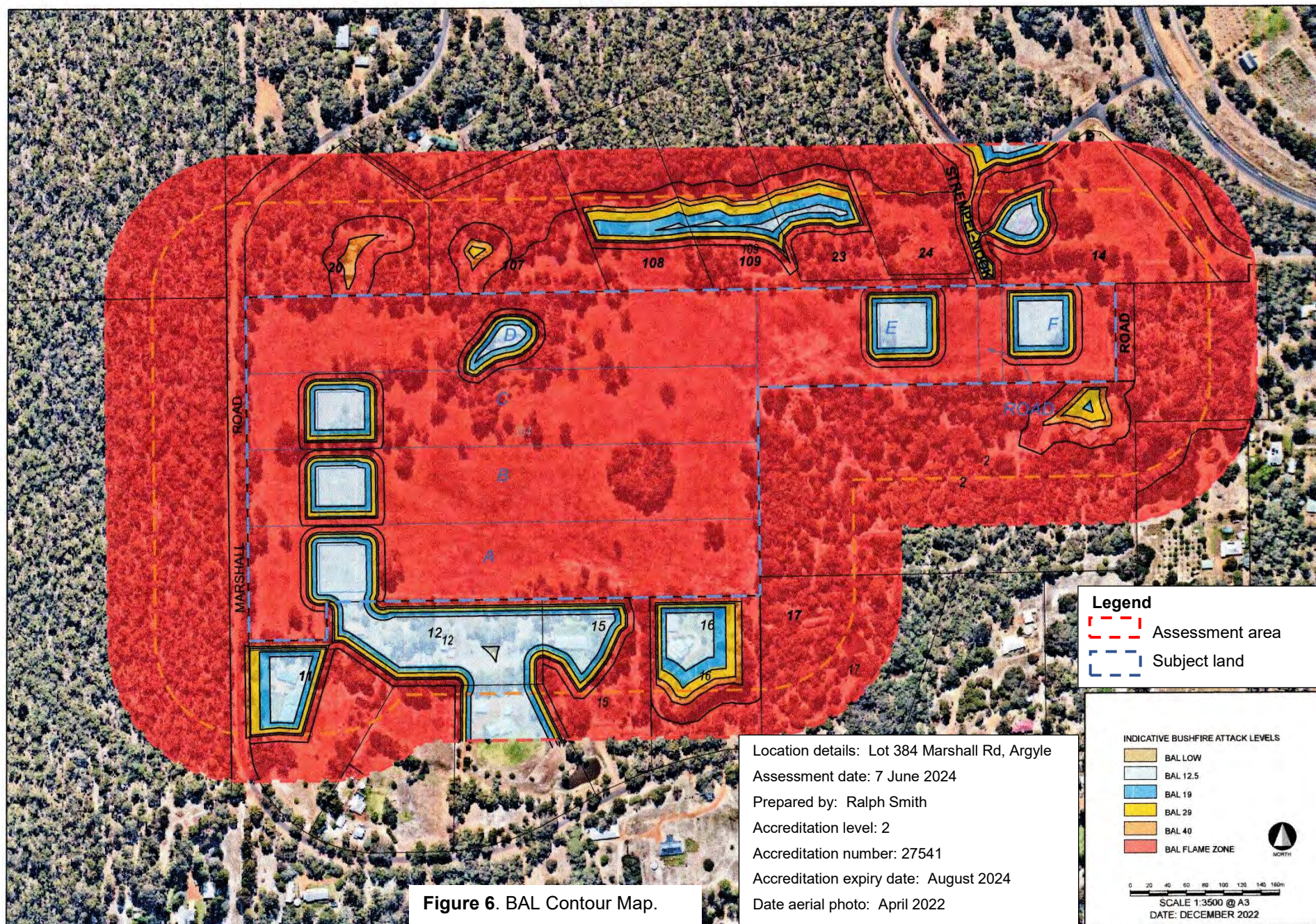
Class G – Grassland under an open woodland (AS 3959 classification – B – 06).

This plot comprises the pasture grass under an open woodland across the development site and some of the neighbouring lots. The vast majority of this development site is a farm and the neighbouring lots have been used for farming purposes of grazing.

3. Plot 3

Class A – Forest (AS 3959 classification – A – 03).

This plot comprises the forest that is on the land adjacent to the proposed development site. It also includes the government land to the west and the private lots to the north and south-east.



Slope

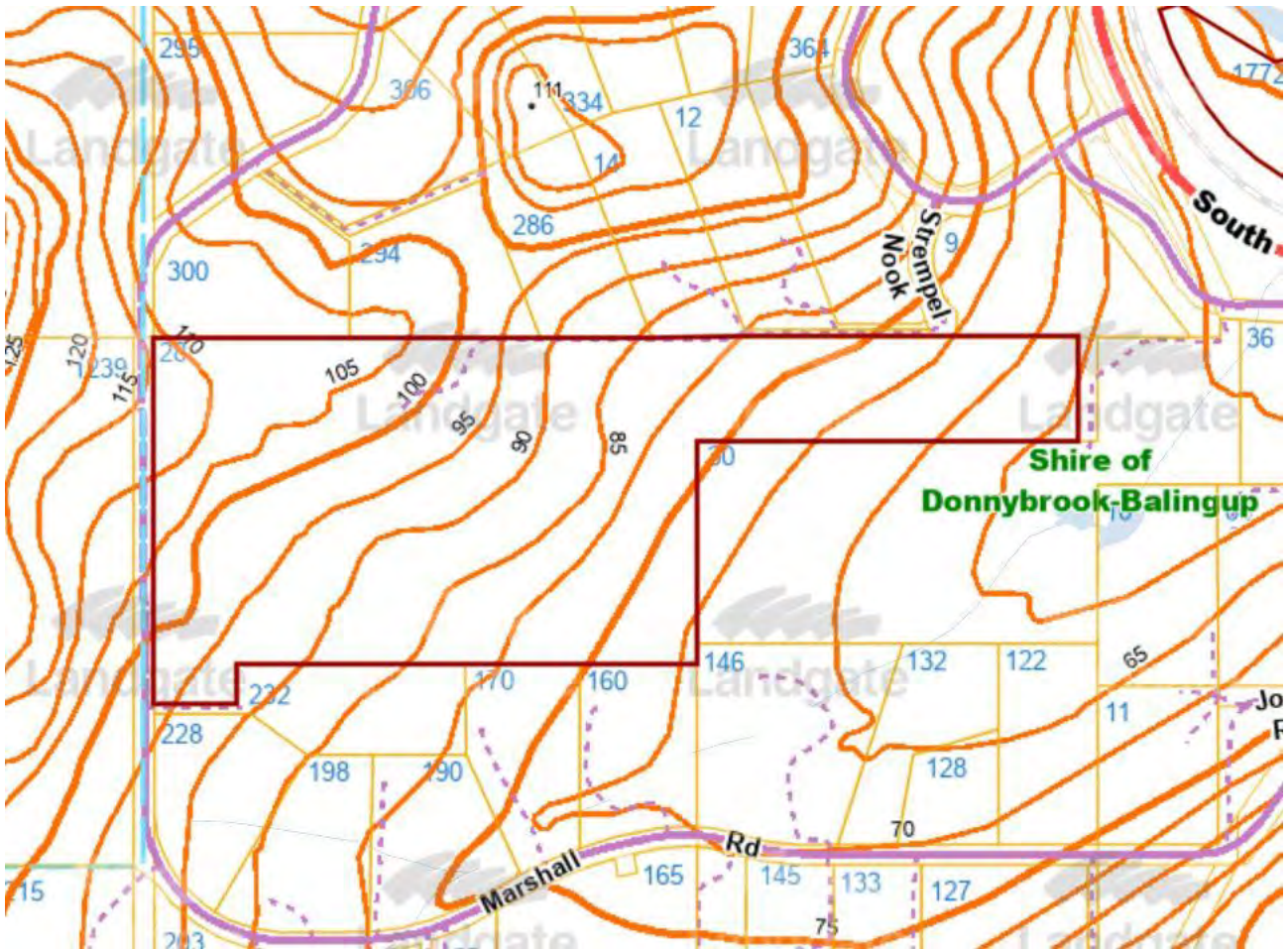


Figure 7. Five-metre contour lines.

Subsection 3.2: Assessment outputs

Plot	Applied Vegetation Classification	Effective Slope Under the Classified Vegetation (degrees)	Separation Distance to the Classified Vegetation (metres)	BAL Contour
1	Exclusion – Low threat vegetation and non-vegetated areas Clause 2.2.3.2 (e) & (f)	Not applicable	Not applicable	LOW
2	Class G – Grassland under an open woodland	>0-5°	Minimum 20 m*	12.5
3	Class A – Forest	Upslope	102	LOW

Note - * indicates a requirement to achieve a 20 metre APZ. The current building envelopes all align which enables BAL-12.5 to be achieved. If a building envelope is relocated on a lot then the BAL rating for that lot and the neighbouring lot will increase above BAL-12.5. As the minimum separation from the lot boundary to the building envelope is 10 metres this will increase the BAL rating to BAL-29. This is the highest BAL rating that is supported by the State Government.

Section 4: Identification of bushfire hazard issues

The most significant bushfire hazard is the extensive native vegetation associated with the forest on land neighbouring the development site. The native vegetation could be sufficiently separated from any potential dwelling by ensuring that an appropriate APZ is established and maintained, and the dwelling is constructed to the appropriate standard.

Future lots and dwellings will generally adapt to retaining existing native vegetation, with areas of cleared land provided as APZs.

There is an existing water tank with a standpipe for firefighting purposes located within 2 kilometres of the furthest proposed house site (i.e. proposed Lot 207) on Marshall Road to the south of the Subject Land at Lot 500 on Plan 61596 (which makes up part of the road reserve, located in front of H 165 Marshall Road). The land contains a water tank of approximately 50,000L and is readily accessible by fire emergency services.

The standpipe is publicly accessible from the existing 20 metre-wide Marshall Road reserve which is more than sufficient to act as the hardstand and turn-around area for 3.4 fire appliances.

The proposed development will bring about an additional 5 rural residential lots and therefore will bring about the need for an additional 50,000 litre water tank for firefighting purposes with a hydrant or standpipe in accordance with Acceptable Solution 4.2. The Subdivider will provide this within the Subject Land as part of the future development.

Section 5: Assessment against the Bushfire Protection Criteria

Subsection 5.1: Compliance Table

Bushfire protection criteria	Method of Compliance	Proposed bushfire management strategies
	Acceptable solutions	
Element 1: Location	A1.1 Development location	The potential future dwellings will be located in an area that is restricted to where the BAL rating will be BAL-29 or less.
Element 2: Siting and design	A2.1 Asset Protection Zone (APZ)	There is requirement through this BMP for a 20 metre APZ associated with any new dwellings within the subdivision.
Element 3: Vehicular access	A3.1 Public roads	Marshall Road and Stempel Nook are constructed. New access associated with the development will be built to comply with the Guidelines.
	A3.2a Multiple access routes	Marshall Road provides the access option for the proposed new lots, and the future development road network. Additional access is provided through the proposed restricted Public Emergency Access Way and the Right of Carriageway Emergency Access WA. There are included in the BMP mapping.
	A3.2b Emergency access way	There is a requirement to create an appropriate emergency access way or public road for the second access option.
	A3.3 Through-roads	Marshall Road and Stempel Nook provide through access and roads.
	A3.4a Perimeter roads	There planned perimeter EAWs planned as a component of the development of the site.
	A3.4b Fire service access routes	Firebreaks will continue to be maintained in accordance with the Shire's firebreak order.
	A3.5 Battle-axe access legs	There are no planned battle-axe access legs at this stage of the development within the area.
	A3.6 Private driveways	It is anticipated that there will be no driveways longer than 50 m constructed with this development. If there are they, will be compliant with the Guidelines.
Element 4: Water	A4.1 Identification of future water supply	The development site will not develop a reticulated scheme water system. There will be an additional 50,000 litre firefighting water tank and standpipe provided with this development.
	A4.2 Provision of water for firefighting purposes	There will be an additional 50,000 litre firefighting water tank and standpipe with suitable access provided with this development.



LEGEND

Subject land Constructed roads Restricted Public EAW Right of Carriageway EAW

REQUIREMENTS

1. The site will not be serviced by a reticulated scheme water system. The developer will provide a 50,000 litre firefighting water supply.
2. There is a requirement for a 20 m APZ on the new dwellings within the future subdivision.
3. Alternative access options included in the BMP and to be approved.
4. This is the principle hazard vegetation, being forest.
5. Grassland vegetation.
6. Current location of the 50,000 litre firefighting water supply and standpipe.

Figure 8. Spatial representation of bushfire management strategies.

Section 6: Responsibilities for Implementation and Management of the Bushfire Measures

This section is to set out the responsibilities of the developer/s, landowner/s and local government with regards to the initial implementation and ongoing maintenance of the required actions.

DEVELOPER – PRIOR TO ISSUE OF TITLES		
No.	Implementation Action	Subdivision Clearance
1	<p>A notification pursuant to Section 165 of the <i>Planning and Development Act 2005</i>, is to be placed on the certificate(s) of title of the proposed lot(s) with a Bushfire Attack Level (BAL) rating of 12.5 or above, advising the existence of a hazard or other factor.</p> <p>Notice of this notification is to be included in the diagram or plan of survey (deposited plan).</p> <p>The notification is to state as follows:</p> <p><i>“This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is subject to a Bushfire Management Plan. Additional planning and building requirements may apply to development on this land”</i> (Western Australian Planning Commission).</p>	
2	Comply with the relevant local government annual firebreak notice issued under s33 of the Bush Fires Act 1954.	
3	The developer will be responsible for extending the road/access network into the development so that is compliant with the State’s requirements.	
4	The developer will be responsible for providing a 50,000 litre firefighting water tank which will be provided within the Subject Land.	
LANDOWNER/OCCUPIER – ONGOING		
No.	Management Action	
1	Comply with the relevant local government annual firebreak notice issued under s33 of the Bush Fires Act 1954.	

Appendix 1

Extract of multiple access technical requirements from the Guidelines.

EXPLANATORY NOTES

E3.2a Multiple access routes

Two-way public road access is public road access from a lot in at least two different directions to two suitable destinations, and provides residents and the community, as well as emergency services, with access and egress from both the subdivision and individual habitable buildings/development in the event of a bushfire emergency. A single road provides no alternative route if the access becomes congested or is unable to be traversed due to smoke and/or fallen trees during a bushfire.

Two-way public road access applies to access/egress routes leading into a subdivision, as well as those within a subdivision. A road that loops back onto itself does not constitute the option of two different directions.

Two-way public road access should always be the first option. Where the site is not able to achieve two-way access within 200 metres of the lot boundary, due to demonstrated site or environmental constraints, the proponent should identify options for an emergency access way from the subject site to a suitable destination. Where an emergency access way cannot be provided, the proponent should demonstrate compliance with the performance principle.

Subject sites or proposed lots greater than 200 metres from an intersection, which provides two-way access, do not satisfy the requirement for two-way access unless they meet the provisions which allow for no-through roads greater than 200 metres in A3.2a.

To demonstrate compliance with the performance principle for two-way access, the bushfire planning practitioner may have regard to:

- the extent of the bushfire hazard, location and vegetation classification, the likelihood, potential severity and impact of bushfire to the subject site and the road network;
- time between fire detection and the onset of conditions in comparison to travel time for the community to evacuate to a suitable destination;
- available access route(s) travelling towards a suitable destination; and
- turn-around area for a fire appliance for no-through roads.

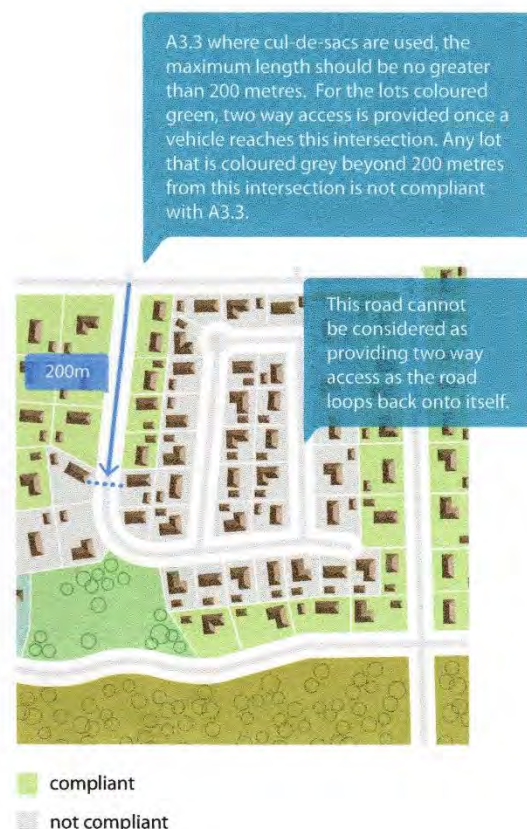


Figure 21: Example of compliant and non-compliant two-way



EXPLANATORY NOTES

E3.2b Emergency access way

An emergency access way is not a preferred alternative to through public road access and should only be considered acceptable where it has been demonstrated that it will provide the safety and performance needs of emergency services and the community, including consideration for future needs, and that public road access to satisfy A3.2a cannot be achieved due to site constraints, such as an established road network with no opportunity to provide a public road for secondary access. Acceptance of an emergency access way should also consider the ability to accommodate reasonable worst-case vehicle volumes.

The principle function of the emergency access way is to provide a contingency (second) community evacuation route and simultaneously provide access for emergency services, in the event of a bushfire emergency. Where an emergency access way traverses classified vegetation, which has the potential to create a bushfire hazard, an emergency access way performs the secondary function of providing access by emergency services to this vegetation.

Emergency access ways should connect to a public road to allow alternative two-way through access. An emergency access way should not exceed 500 metres in length as they may not be as safe for road-use due to not being designed or constructed to the full requirements of a public road and may present uncertainties to emergency service personnel and the public as they are not part of the daily road network and not identified on Maps.

Permanent public emergency access way

An emergency access way can be provided as either a public easement in gross or a right-of-way. In both approaches, the management of the emergency access way is by the local government as the grantee of the easement or management body of the right-of-way. The proponent must obtain written consent from the local government that the local government will accept care, control and management of the easement or right-of-way; this must be provided to the decision-maker prior to granting planning approval. The approach taken is at the discretion of the decision-maker and/or the local government and is also dependent on whether the land is to remain in private ownership or be ceded to the Crown. Consultation with Land Use Management at the Department of Planning, Lands and Heritage should also be considered if the land is to be ceded to the Crown or if the local government is uncertain of which approach to take.

If the emergency access way is provided as an easement, it should be provided as a public easement in gross under sections 195 and 196 of the *Land Administration Act 1997* in favour of the local government and/or public authority, to ensure accessibility for emergency services and the public at all times. To be provided as a right-of-way the emergency access way should be vested in the Crown under section 152 of the *Planning and Development Act 2005* as a right-of-way and such land to be ceded free of cost and without any payment or compensation by the Crown. If gates are used to control traffic flow during non-emergency periods, these will be managed by the local government and must not be locked. Gates should be double gates wide enough to access the full pavement width and accommodate Type 3.4 fire appliances with the design and construction to be approved by the relevant local government.

Temporary public emergency access way

A temporary emergency access way may be proposed to facilitate the staging arrangements of a subdivision. The provision of two public roads may not be possible in the first stage of the subdivision and an emergency access way can be provided as an interim access route until the second public road is developed and gazetted in a subsequent stage of the subdivision (see figure 22). The emergency access way should be provided in the same manner as a permanent emergency access way, but it should be removed from the certificate of title once the public road is developed and gazetted. Where an emergency access way is proposed as an alternative to a public road, the Bushfire Management Plan should provide thorough justification for its use.

Restricted public emergency access way

There may be some instances where a restricted emergency access way is proposed as a performance principle-based solution where access is only available to the public in the event of a bushfire emergency. This option can only be considered where the local government or Main Roads WA have advised that vehicular access on the emergency access way is not allowed during non-emergency periods, as it provides an additional thoroughfare and entry point on a local or State road. In this scenario, the emergency access way can be provided as an easement under section 195 of the *Land Administration Act 1997*, as public access in the event of a bushfire emergency or vested in the Crown as a reserve under section 152 of the *Planning and Development Act 2005*. Such land is to be ceded free of cost without any payment or compensation by the Crown. The proponent must obtain written consent from the local government that

EXPLANATORY NOTES

the local government will accept care, control and management of the proposed reserve and agree to the terms of the Management Order Conditions (if applicable); this must be provided to the decision-maker prior to granting planning approval.

The purpose of the reserve should be for a public purpose specified in the condition related to the subdivision, for example for emergency access only, or for emergency access and recreation. A reserve for emergency access and recreation can optimise the land-use as a dual purpose where it provides vehicular access in the event of a bushfire emergency, but can be accessed by the public (on foot) on a day-to-day basis as a recreation link. Appropriate signage can ensure the general public is aware of the purpose of the reserve. The approach taken is at the discretion of the decision-maker and/or local government.

Right-of-carriageway emergency access way

There may be some instances where a right-of-carriageway easement is proposed as a performance principle-based solution. This may be where particular landowner(s) and emergency services, but not the public, require access over a neighbouring lot(s). A right-of-carriageway easement should be provided under section 195 of the *Land Administration Act 1997*. The easement is to provide alternative access for the particular landowner(s) in the event of a bushfire emergency and not for use by the public. In this scenario, support will be necessary from the adjoining lot owner(s). The easement is to be granted to the local government and it is to agree with the landowner on the arrangements of the management of the easement area by deed. These management arrangements will be at the discretion of the local government. If gated, the easement area can be locked to restrict day-to-day vehicular access.

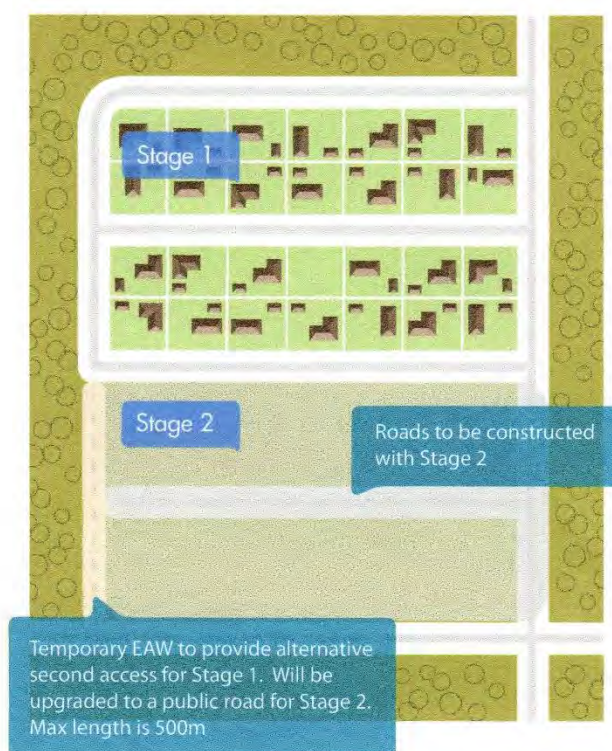


Figure 22: Example of an emergency access way

Appendix 2

Extract (page 1) of the Shire of Donnybrook-Balingup firebreak order.

FIRE BREAK ORDER 2023/24



Important Information relating to your responsibility as a landholder in the Shire of Donnybrook Balingup:
Pursuant to Section 33 of the Bush Fires Act 1954, you are required to carry out fire prevention work on land owned or occupied by you in accordance with the provisions of this order.

This work must be carried out by 1 DECEMBER 2023 and kept maintained until 31 MARCH 2024.

SPECIAL NOTICE TO LANDOWNERS AND OCCUPIERS:
The Shire forwards a copy of this Firebreak Order with Shire rates notices annually. The notice is also published locally and additional copies are obtainable at the Shire Administration Office. The aim of the Shire is to eliminate destructive bush fires and to this aim, some areas of the Shire are subject to mitigation works which are carried out by Bush Fire Brigades and the Shire's workforce. The requirements of this order are considered to be the minimum standard of fire prevention work required to protect individual properties and the district generally. In addition to the requirements of this order, the Shire may issue special order to owners or occupiers if additional hazard removal is considered necessary.

Inspections will be carried out by an Authorised Officer. Fire breaks shall be constructed to a mineral earth standard free of all flammable material and maintained throughout the entire compliance period. Failure to comply with the requirements of this order may result in the issuing of an infringement notice or prosecution. The Shire of Donnybrook Balingup may also arrange for works to be carried out at the expense of the owner or occupier.

1. RURAL LAND – (Land Zoned General Agriculture or Priority Agriculture)
a. On land which is divided by or abuts a formed or partly formed road or railway reserve, a fire break not less than two metres wide shall be provided within sixty metres of the boundary of the road or railway reserve. Breaks are not permitted on road reserves without written approval from the Shire of Donnybrook Balingup.
b. Where rural land (whether bushland or pastured) abuts a residential zone boundary a three-metre fire break shall be constructed along the common boundary of the residential area.
c. A fire break two metres wide shall be provided immediately surrounding and within twenty metres of the perimeter of all buildings, hay sheds and fuel storage areas situated on the land.
d. A cleared area of at least a six-metre radius shall be provided around all combustion pumping engines.
e. A cleared area of all flammable material of at least a three-metre radius shall be provided around an operational gas gun and the owner of the gas gun shall ensure that the gas gun is secured in an upright position.
f. If a Total Fire Ban is declared by the Department of Fire and Emergency Services in accordance with the Bush Fires Act 1954, the use of gas guns is prohibited within the Shire of Donnybrook Balingup.

2. EUCALYPTUS AND PINE PLANTATIONS
a. Fire breaks not less than ten metres in width around the perimeter of land on which trees are planted.
b. Not less than ten metres in width along those portions of plantations which enjoy a common boundary with a road reserve.
c. Not less than six metres in width in such positions that no part or compartment of a plantation shall exceed 28ha in area.
d. Where ten metre breaks are required in accordance with this Section of the Shire's Fire Break Order, pruning of overhang shall be carried out up to a height of five metres above the fire break.
e. In addition to the breaks specified, plantations traversed by Western Power transmission lines have additional obligations under the Electricity Act 1945.

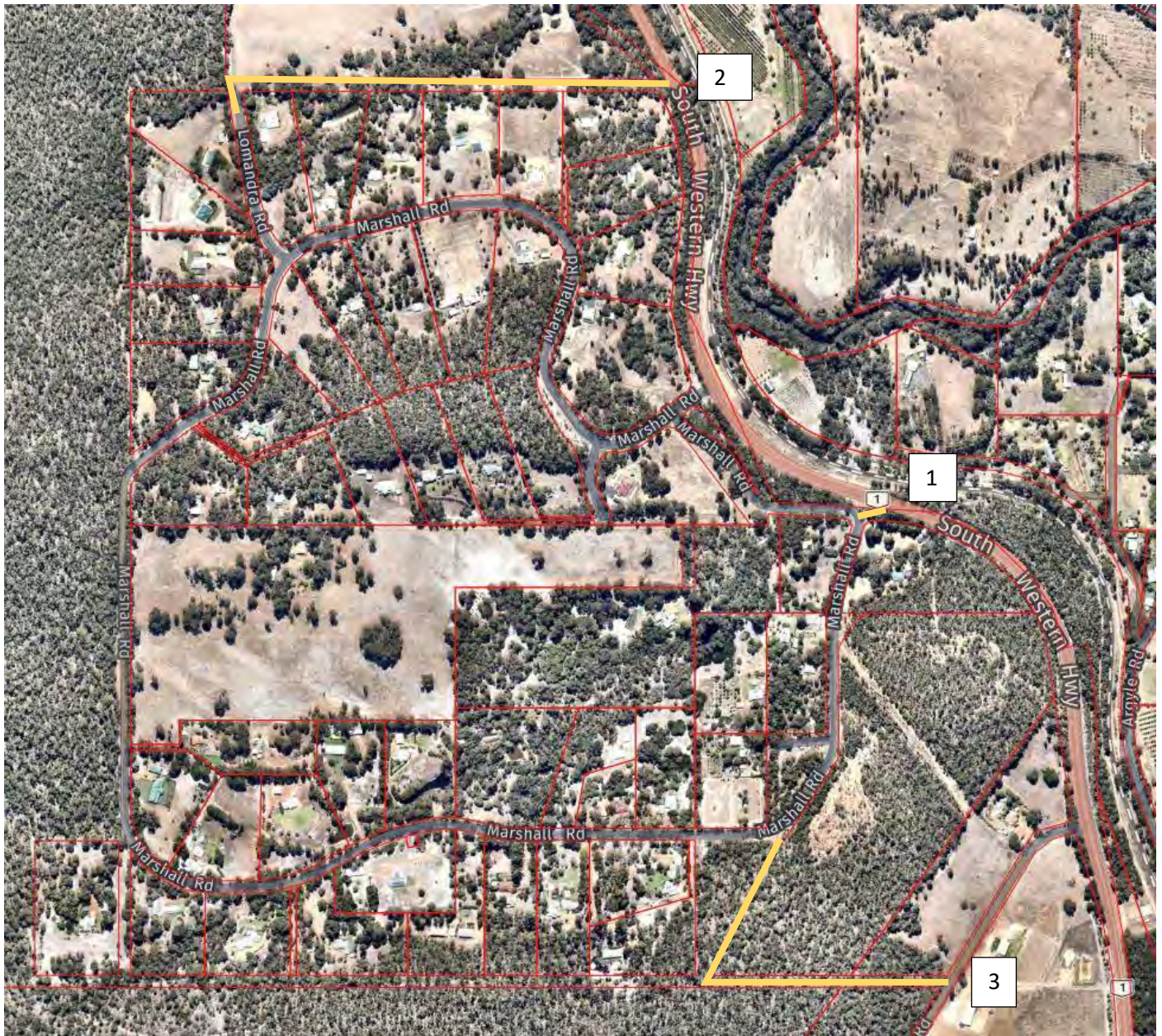
3. TOWNSITE LAND (Land zoned Residential, Commercial and Industrial)
Townsites: Donnybrook, Balingup, Kirup, Mullalyup, Newlands, Preston and Naggerup.
Where the area of land is 2024m² or less, remove all flammable material on the land except living trees, shrubs and plants from the whole land, and;
a. Where the area of land is 2024m² or less, remove all flammable material on the land except living trees, shrubs and plants from the whole land, and;
b. Where the land exceeds 2024m² clear fire breaks not less than two metres wide, unless otherwise specified in the Local Planning Scheme, immediately inside all external boundaries of the land, and also immediately surrounding all buildings situated on the land. Grass on the remaining area of the land must be either grazed, cut for fodder, or totally removed from the land.
c. The Shire of Donnybrook Balingup, in consultation with the relevant Fire Control Officer, may vary these conditions in certain circumstances.
d. A person shall not set fire to rubbish, refuse or other materials on land 2000m² or less situated within a townsite without prior approval from the Local Government.

4. LAND ZONED, RURAL RESIDENTIAL, RURAL SMALL HOLDINGS AND TOURIST ZONING
The owners of all land zoned as "Rural Residential, Rural Small Holdings or Tourist" under the Local Planning Scheme No. 7, shall:
e. maintain a fire break not less than two metres wide, immediately inside all external boundaries of the land, free of overhanging branches to a height of four metres.
f. The Shire, on the recommendation of a Fire Control Officer, may vary these conditions in certain circumstances.
g. A low fuel zone of twenty metres wide shall be provided immediately surrounding all buildings situated on the land. Grass on the remaining area of the land must be either grazed (within conventional practice), cut for fodder or completely removed from the land.

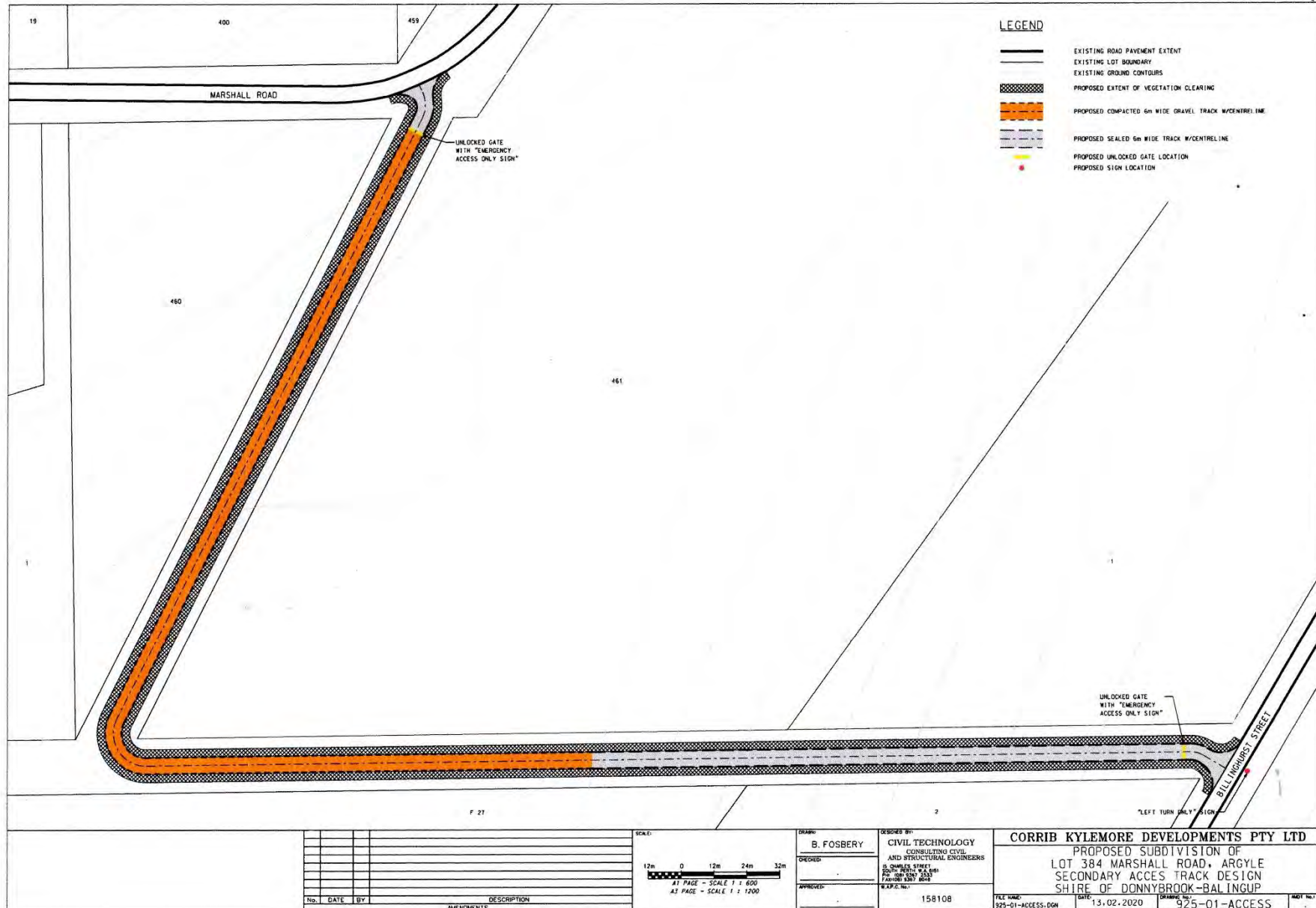
REMINDER - Requests for Variation:
Landowners may request a variation to the Fire Break Order where their properties may not apply, with regards to the preparation of a property during fire season. These requests for variation must be received by the Shire no later than 30 September, 2023. Fire Break Compliance Checks begin 1 December, so please be sure to get your request in ASAP if this applies to you! If you have any questions, please contact the Shire on (08) 9780 4200, or via shire@donnybrook.wa.gov.au.

Appendix 3

Three possible second access options shown in yellow on the aerial photograph. The developer will finalise the second access option and submit it for approval.



[illegible]



Access Overall Considerations

Based upon prior Shire documentation and discussions with other agencies the developers have considered several options with regard to this Element. In considering possible access solutions within this BMP there is no current, clear, easy solution which will satisfy all agencies and afford existing and future residences access to meet the Intent of Element 3: Vehicular Access. This area is the last section to be developed under a legacy planning process which resulted in all the surrounding land being zoned and developed into Rural Residential titles which this lot being one of two which remained an investigation area due to the prior owners not having an appetite for development.

In reviewing these options consideration has been given to logical human nature and the requirements within the Guidelines. In a worse-case scenario a normal, natural response would reasonably be for residents to head for a well-known exit which will be considered as the safest and quickest route being the South Western Highway.

Currently there is only one exit from this area on Marshall Road and as such a further development approval for Lot 28 Marshall Road will allow for enhanced safety options for those currently residing in this area and future residents in the event of an emergency. A significant part of Marshall Road which divides residents and the state forest has remained unsealed. This section will become a sealed road due to this development which provides for improved safety on a daily basis for all residents in that vicinity as well as fire fighters should they need to use this road. Improvements to access road options in this area are highly unlikely without a future development approval, as no new alternative access is likely to be developed.

In reviewing all matters the developer has considered and assessed the following options as pictured in Appendix 4. The cost for the chosen option would be borne by the developer as part of a subdivision application assuming it doesn't outweigh the benefits of development.

Option 1

This option will provide for an Emergency Access Way (EAW) only which would be gated, well sign posted and not sealed so as to avoid any confusion by the general public that it is anything more than an EAW to utilise in the event of an Emergency. The location of this access way is within the old road reserve which appears to have been once used as the **main entrance** to this area. The crossover from the highway side remains visible today.



This option will allow for

- A second emergency access way to the South Western Highway; at the same area as the original access to Marshall Road from the South Western Highway.
- Fire Emergency Services will have safe, quicker, access to their key strategic water source located in the road reserve in front of the residence at 165 Marshall Road. (Note in satisfying the Guidelines Element 4: Water, the Developer is committed to further upgrading these facilities as part of this BMP).
- The western boundary of this subdivision has the highest vegetative load, as well as the highest number of residences which would benefit from this exit versus other options. This EAW would mean at least 24 existing residents and potentially many new residents will have a reduced evacuation time. This in turn reduces current pressures on the single existing emergency access option being via Marshall Road as well as supporting the new development.

- d) The direction of this access way is east which is directly away from the highest vegetative areas;
- e) The ongoing maintenance cost of this option is considered to be the least of all 3 options considered;
- f) This area is relatively flat with no gradient issues.
- g) Requires minimal vegetation clearance which in turn results in the lowest environmental impact.
- h) The line of site upon exiting onto Southwest Highway using this access in the event of an emergency is approximately 160m which makes it a safer option in the event of an emergency versus other options. This line of site can be further increased should clearing be permitted for the small section of public road reserve to the south.

Note: line of sight is only an issue if the road way has not already been closed off to general public. Typically in the event of a major emergency requiring evacuation roads have been closed off to general public, while not a guarantee it is a consideration.

Option 2

This option is an extension to Lamandra Road reserve which will then be connected to South Western Highway via in part public road reserves. The approximate length of this option is 850m long from where Lamandra Road is currently sealed to the exit point onto South Western Highway. Due to the length exceeding 500m this road is required to be partially upgraded to a public road with the balance of 500m being constructed, gated and sign posted to the standard as required by Element 3.

This option will allow for:

- a) A second emergency access way to the South Western Highway.
- b) Provide for alternative firefighting access to the North of this district.
- c) Access to critical Fire Emergency Services will be significantly further away versus other options.
- d) Would reasonably allow for 15 existing residents to evacuate safely via an alternative route.
- e) The direction of this route is to the West followed by North which increases the risk for some residents in that you are driving into a highly vegetated area but is less than option 3.
- f) The ongoing maintenance cost of this option is expected to be significantly more than option 1 but less than option 3.
- g) The line of site upon exiting to South Western Highway using this access in the event of an emergency is approx. 60m which can be further increased should the exit point continue to the west however other environmental impacts would need to be considered.
- h) Has a gradient which slopes downward by approximately 5.2% (approximately 3°).
- i) Requires some vegetation to be removed.
- j) As this option includes a public road being partially constructed there is a risk it will become a desirable day by day use for residents in that immediate area and as such the developer cannot make any assurances it will not be used for that purpose but would highly discourage residents from using it for that purpose via signage.

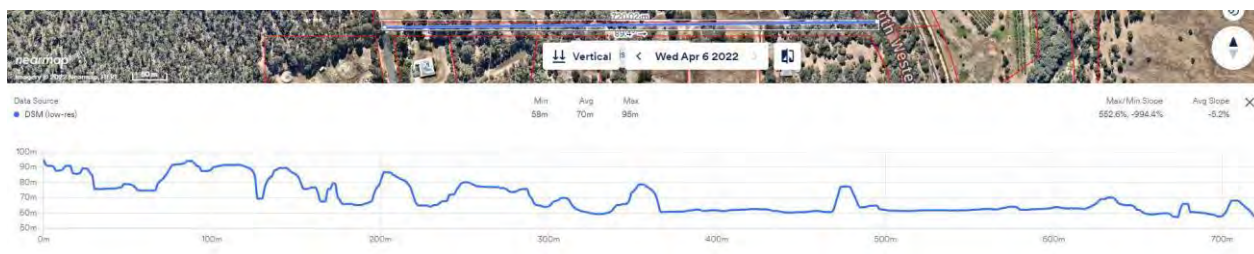


Figure 1: Slope from Lamandra Road. The blue line is the height over the vegetation.

Option 3

This option includes a partial construction of the public road reserve which flows to the south of Marshall Road. The approximate length of this option is 680m long to the exit point onto Billingshurst Road. Due to the length exceeding 500m this road is required to be partially upgraded to a public road with the balance of 500m being constructed, gated and sign posted to the standard as required by Element 3.

This option will allow for

- a) A second emergency access way to the South Western Highway via Billingshurst Road.
- b) Provide for alternative firefighting access to the south of this district.
- c) Provide for a possible shorter distance and therefore response time to current firefighting services in the area.
- d) Provide for approximately 16 residents to access a shorter route out of the area than they currently have today, however it is within a forest vegetation and potentially poor visibility as the exit is up a hill side.
- e) The direction of this road is south west and then east. It is situated in a highly vegetated area with bush that surrounds both sides of the access way.
- f) The ongoing maintenance cost of this option is considered to be the greatest of all three of the option due to the slope and surrounding vegetation.
- g) From a main road access way this exit allows for residents to exit to Billingshurst Road which has less traffic than South Western Highway during normal traffic times.
- h) Has a gradient which slopes up at around 9% (approximately 5°) and then downward by approximately 10.6% (approximately 6°).
- i) Requires significant vegetation to be removed. There is no ability to remove other vegetation or impact any other part of the land surrounding this road reserve as it is currently subject to a Native Title Land claim.
- j) As this option includes a public road being partially constructed there is a risk it will become a desirable day by day use for residents in that immediate area and as such the developer cannot make any assurances it will not be used for that purpose but would highly discourage residents from using it for that purpose via signage.



Figure 2: Slope from Marshall Road. The blue line is the height over the vegetation.

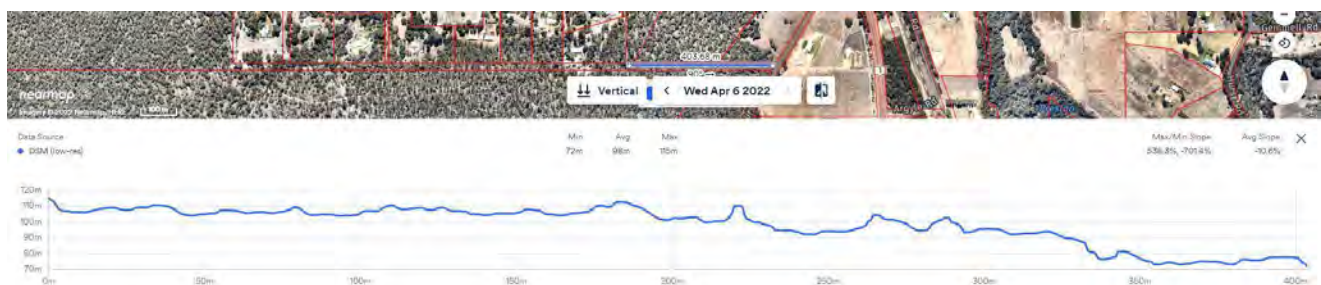


Figure 3: Slope from Marshall Road extension. The blue line is the height over the vegetation.

SUMMATION

In summary, existing residents in the Marshall Road development area are not currently afforded the appropriate bushfire protection of two alternative entry and exits to two alternative destinations. An acceptable solution on the balance of all determining factors which will provide a safer access option for the existing and future residents is clearly Option 1.

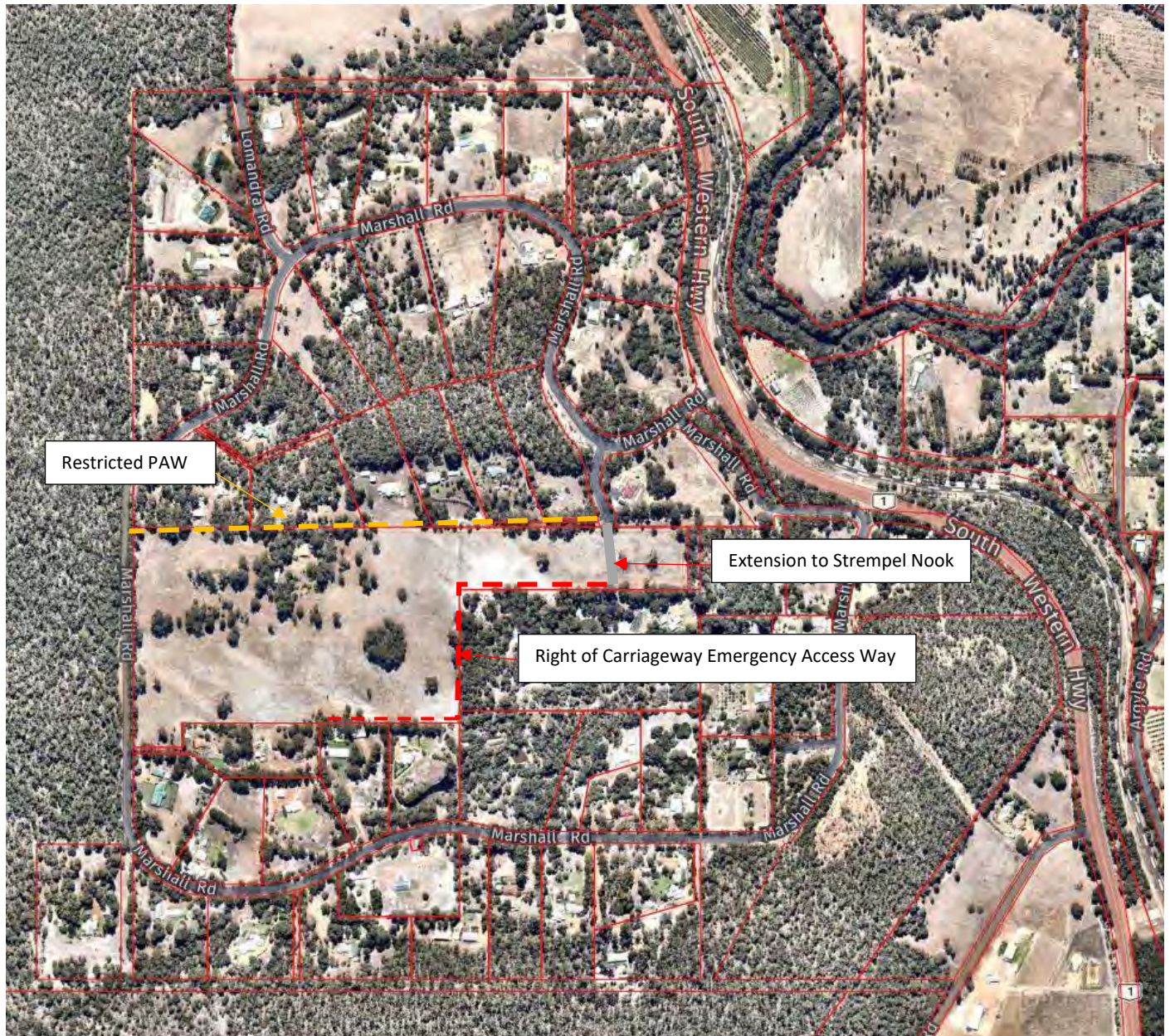
As outlined above this option ensures:

- a) Increased alternative access for residents to evacuate the area in an emergency.
- b) Increased fire emergency access to current firefighting assets.
- c) Is located at the same area as was the original cross over from South Western Highway to Marshall Road.
- d) Has the least environmental impact due to minimal vegetation requiring removal.
- e) Has the lowest ongoing cost to maintain.
- f) Provides for the greatest logical access to the most at risk.

Is the least desirable for the purpose of a day to day access way, i.e., it is only attractive to those requiring Emergency Access use.

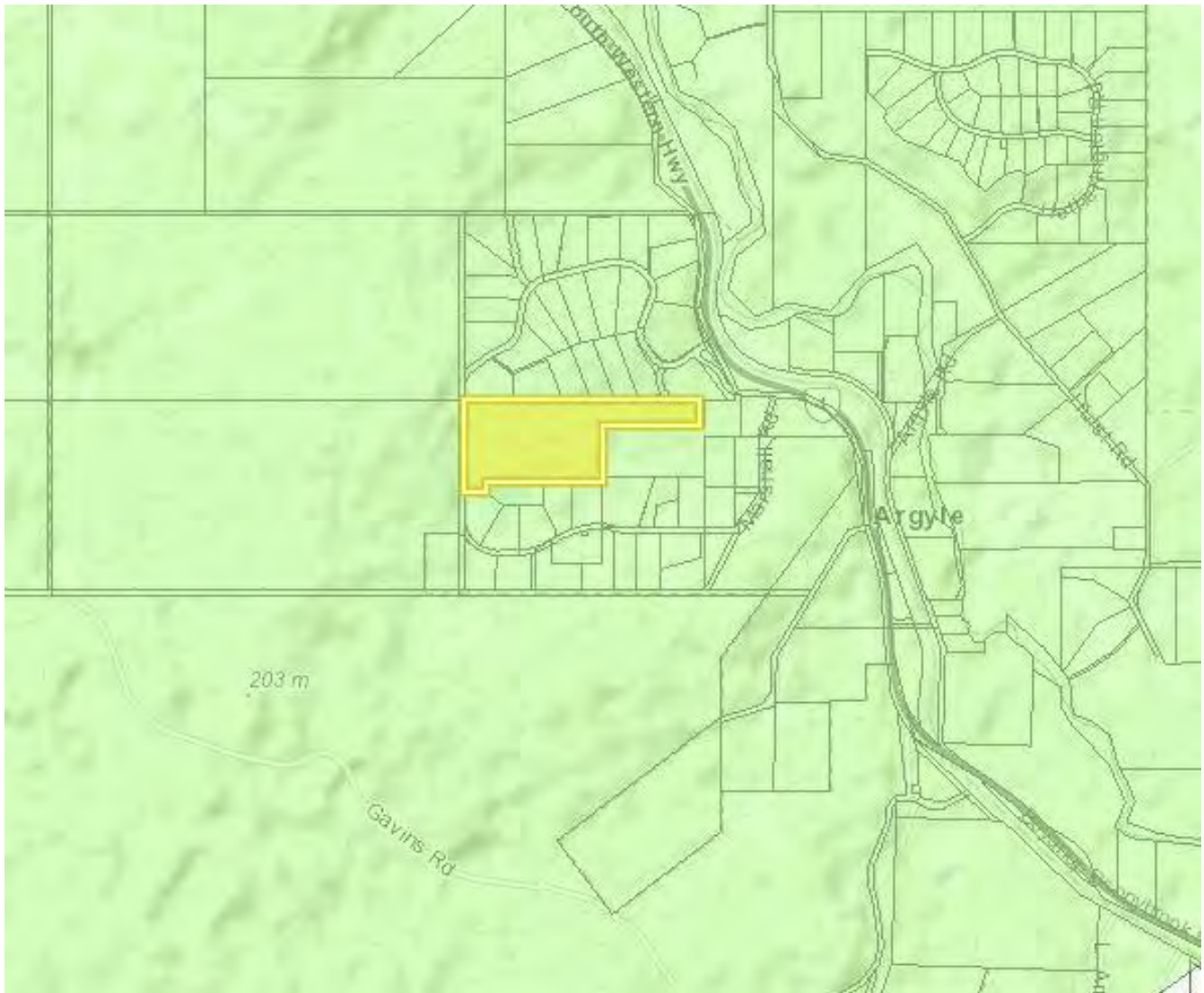
Appendix 4

The additional access options shown on the aerial photograph.



Appendix 5

Map showing the Carnaby Cockatoo confirmed roost site buffered six kilometres.



Appendix 6

Section of an email between DPLH and Tricia Scaffidi endorsing the use of the original vegetation assessment.

smith.consulting@bigpond.com

From: tscaffidi@optusnet.com.au
Sent: Monday, 27 November 2023 10:19 PM
To: Smith Consulting
Cc: AnthonyScaffidi@hotmail.com.au
Subject: FW: Lot 384 (#28) Marshall Road, Argyle (Client: Scaffidi)

FYI Ralph – let me know if you need anything else.

From: Cath Meaghan <Cath.Meaghan@dplh.wa.gov.au>
Sent: Monday, November 27, 2023 11:41 AM
To: tscaffidi@optusnet.com.au
Subject: RE: Lot 384 (#28) Marshall Road, Argyle (Client: Scaffidi)

Hi Tricia

Happy to accept the work with 18 month old veg info – as Ralph says, it won't have changed too much in that time.

Cath

Cath Meaghan
Planning Director | Land Use Planning
Department of Planning, Lands and Heritage
140 William Street, Perth WA 6000
wa.gov.au/dplh | 6551 9362 |



The Department is responsible for planning and managing land and heritage for all Western Australians – now and into the future

The Department acknowledges the Aboriginal people of Western Australia as the traditional custodians of this land, and we pay our respects to their Elders, past and present.

Disclaimer: this email and any attachments are confidential and may be legally privileged. If you are not the intended recipient, any use, disclosure, distribution or copying of this material is strictly prohibited. If you have received this email in error, please notify the sender immediately by replying to this email, then delete both emails from your system.

From: tscaffidi@optusnet.com.au <tscaffidi@optusnet.com.au>
Sent: Monday, 27 November 2023 10:55 AM
To: Cath Meaghan <Cath.Meaghan@dplh.wa.gov.au>
Subject: Lot 384 (#28) Marshall Road, Argyle (Client: Scaffidi)

Hi Cath

Thanks again for meeting with me a few weeks back, your insight was awesome.

Can I ask if you can help me with this query re the BMP. I am trying to keep things as simple as possible. Would it be ok for Ralph to use the below in his assessment.

Regards

References

Australian Building Codes Board, (2019). *Building Code of Australia*. Australian Building Codes Board, Sydney

Shire of Donnybrook-Balingup, (2023). *Fire Break Notice 2023/24*. Retrieved 19 December 2023 from https://www.donnybrook-balingup.wa.gov.au/Profiles/donnybrook/Assets/ClientData/Fire_Management/FireBreakOrder_2023-24.pdf

Near map from <http://maps.au.nearmap.com/>

Slope percentage to degrees conversion from <https://www.calcunation.com/calculator/slope-percent-conversion.php>

Landgate (SLIP), (2022). *Map of Bushfire Prone Areas*. Retrieved 21 September 2022 from <http://www.dfes.wa.gov.au/regulationandcompliance/bushfireproneareas/Pages/default.aspx>

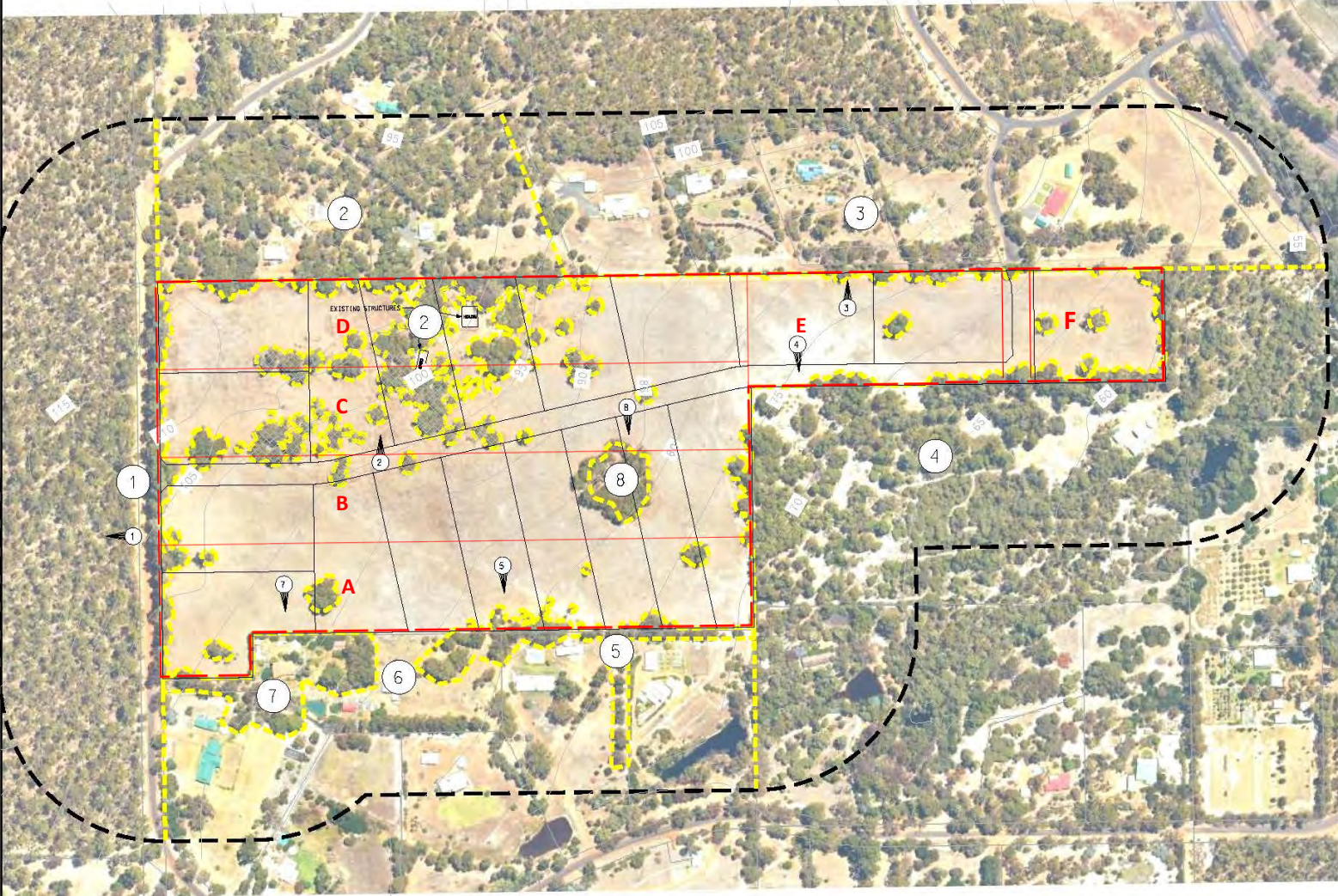
Standards Australia. (2018). *Australian Standard 3959 – Construction of buildings in bushfire-prone areas*. Standards Australia, Sydney, NSW.

Western Australian Planning Commission. (2015). *State Planning Policy 3.7 – Planning in Bushfire Prone Areas*. Western Australian Planning Commission, Perth, WA.

Western Australian Planning Commission. (2021). *Guidelines for Planning in Bushfire Prone Areas*. Western Australian Planning Commission, Perth, WA. December 2021

Hydrant and water meter locations from <https://espatial.dph.wa.gov.au/PlanWA/Index.html?viewer=PlanWA>

Appendix 5B



PLOT #	VEGETATION CLASS	SLOPE
1	FOREST	UPSLOPE
2	WOODLAND	DDWSLOPE 5-10
3	WOODLAND	UPSLOPE
4	WOODLAND	REFER ARROWS
5	WOODLAND	DDWSLOPE 0-5
6	GRASSLAND	DDWSLOPE 0-5
7	WOODLAND	REFER ARROWS
8	WOODLAND	REFER ARROWS


NOTES

- 1. THE TREES WITHIN THE SUBJECT LAND ADJACENT TO PLOT 2 ALSO COMPRISE PART OF PLOT 2.
- 2. THE GRASSLANDS WITHIN THE SUBJECT LAND WILL BE EXCLUDED IN ACCORDANCE WITH CLAUSE 2.2.3.2 OF AS 3959 AFTER THE FACT OF DEVELOPMENT.

LEGEND

- VEGETATION CLASSIFICATION AREA (150M FROM DEVELOPMENT)
- PROPOSED LOT BOUNDARY
- 100 EXISTING GROUND CONTOURS
- EXISTING STRUCTURE
- VEGETATION PLOT BOUNDARY
- VEGETATION TO BE CLEARED
- 1 PLOT NUMBER OF CLASSIFIED VEGETATION
- PHOTO POINT (WITH DIRECTION) OF CLASSIFIED VEGETATION

2024 Revised Proposal for
Additional 5 Lots

						SCALE:			DRAWN BY:			CORRIE KYLEMORE DEVELOPMENTS PTY LTD		
									B. FOSBERY			CIVIL TECHNOLOGY		
						40m 0 40m 80m 120m			CHECKED:			CONSULTING CIVIL		
						A1 PAGE - SCALE 1 : 2000			-			AND STRUCTURAL ENGINEERS		
						A3 PAGE - SCALE 1 : 4000			APPROVED:			10 SHARPLES STREET		
												3000 PERTH, WEST AUSTRALIA 6161		
												PH: (08) 9461 6043		
												FAX: (08) 9461 6044		
												W.A.P.C. No.:		

LOT 384 MARSHALL ROAD, ARGYLE



April 2019

Flora/Vegetation and Fauna Values
Assessment



*Environmental
& Landscape
Management*

Prepared by Sean Smith of *Environmental and Landscape Management*

Email: seanic@iinet.net.au

Mob. 0437 806 119

Lot 384 Marshall Road, Argyle

Flora/Vegetation and Fauna Values Assessment

Table of Contents

EXECUTIVE SUMMARY.....	3
INTRODUCTION.....	3
Scope of report.....	4
Biodiversity conservation	4
Flora assessments	6
Fauna assessment	6
THE STUDY AREA.....	6
Tenure and vesting.....	6
The Natural Environment.....	8
The biological environment	8
Local and Regional Significance	12
Threatened Ecological Communities	12
The Physical Environment	14
Soils.....	14
Hydrology	15
SITE ASSESSMENT METHODOLOGY.....	15
RESULTS AND DISCUSSION.....	16
Site survey results:.....	16
Flora species	16
Vegetation.....	16
Conservation status of flora.....	23
Vegetation condition	24
Fauna values	24
Environmental Protection and Biodiversity Conservation Act database search.....	24
CONCLUSIONS AND RECOMMENDATIONS	27
REFERENCES	29
APPENDIX 1: WAYPOINTS AND AERIAL PHOTOGRAPHS OF LOCATIONS	32

Copyright: The concepts and information contained in this document are the property of SJ Smith and Associates Environmental and Landscape Management. Use or copying of this document in whole or in part without the written permission of SJ Smith and Associates Environmental and Landscape Management constitutes an infringement of copyright.

Disclaimer: All attempts have been made to ensure the accuracy of the material presented in this report. However, some information may be inaccurate due to changes to database information, government policy or legislation. Seasonal variation and the ephemeral nature of native vegetation also present limitations on the overall accuracy of the information in this report

DOCUMENT STATUS

<i>STATUS</i>	<i>DATE</i>	<i>ISSUED</i>
Original	17 April 2019	SJS

Executive summary

Lot 384 Marshall Road, Argyle ('the site') is currently used for pasture and grazing. The site is mostly cleared with a number of large remnant native eucalypt trees growing as individual trees within the paddocks or as a small number of closer groups.

The site is proposed for a housing subdivision with a number of larger lots of approximately 1 hectare or greater in size. Conditions within the Town Planning Scheme require that the native vegetation is protected in the subdivision process. The current assessment has examined the trees found growing on the site and determined their relative value in terms of size, condition, habitat value and structure. Based on this assessment, a number of trees have been recommended for retention or removal.

Around 87 trees have been identified as very high value established habitat trees (scoring between 80 to 100), with a further approximately 93 trees identified as worthy of retention (scoring between 50 to 80). Another 18 trees are suitable for removal (scoring less than 50) with several other trees that are dead or are exotic species that can be retained or removed as required.

Schedule 1 listed red tailed black cockatoos were observed on the site and the trees on the site along with the neighbouring state forest are likely to provide suitable habitat for black cockatoos and other local native species.

Introduction

Lot 384 Marshall Road, Argyle is currently being used for grazing and pasture production. The lot is now subject to a proposal to subdivide to produce 19 lots averaging around 1 hectare in size.

There are a number of mature trees on the existing lot that have been assessed for size, habitat value, health and structure.

Scope of report

This report outlines the findings of several site visits to determine the flora/vegetation and fauna values of the site, focussing on trees on the site.

Biodiversity conservation

The south western botanical province is one of twenty five global biodiversity hot spots and the only one in Australia (EPA, 2008). The EPA's objective for biodiversity conservation is to maintain the abundance, diversity, geographic distribution and productivity of all life forms through the avoidance or management of adverse impacts and improvement in knowledge.

The EPA's goal is to maintain at least 30% of the pre-clearing extent of ecological communities. A number of measures are recommended for protecting biodiversity.

- Conserve biodiversity in-situ – through both a comprehensive, adequate and representative reserve system and managing all land use and development to meet overall biodiversity targets and objectives for a region.
- Avoid clearing – through limiting development to already cleared areas and avoiding further clearing for agriculture in the south-western agriculture area.
- Protect ecological linkages – protecting and enhancing ecological linkages between key ecological areas.
- Anticipate threats to biodiversity – threats to biodiversity should be anticipated and managed. Threats include the spread of invasive species and diseases, salinity, pollution, altered surface water regimes and groundwater regimes, altered fire regimes, the escape of genetically modified organisms, soil degradation and the fragmentation of native habitat.
- Make informed decisions – decisions should be informed and where information is lacking, the Precautionary Principle should be applied.
- Apply the Natural Resources Management Framework – as it is set out in the EPA Position Statement No. 8.
- Apply new understandings – from ongoing research, monitoring and evaluation.
- Mitigate adverse impacts – projects with significant impacts on the environment should be required to demonstrate mitigation of impacts through a hierarchy of avoidance, minimisation, rectification, reduction and offsets as a last resort.

- Share responsibility – all people including all levels of government, resource users, indigenous groups and the community in general have a responsibility for biodiversity protection.

Clearing native vegetation is restricted under Schedule 5 of the *Environmental Protection Act 1986*. Native vegetation should not be cleared if it fits any of the following categories:

- a) it comprises a high level of biological diversity;
- b) it comprises the whole or part of, or is necessary for the maintenance of, a significant habitat for fauna indigenous to Western Australia;
- c) it includes, or is necessary for the continued existence of, rare flora;
- d) it comprises the whole or a part of, or is necessary for the maintenance of, a threatened ecological community;
- e) it is significant as a remnant of native vegetation in an area that has been extensively cleared;
- f) it is growing in, or in association with, an environment associated with a watercourse or wetland;
- g) the clearing of the vegetation is likely to cause appreciable land degradation;
- h) the clearing of the vegetation is likely to have an impact of the environmental values of any adjacent or nearby conservation area;
- i) the clearing of the vegetation is likely to cause deterioration in the quality of surface or underground water;
- j) the clearing of the vegetation is likely to cause, or exacerbate, the incidence or intensity of flooding.

Ecological communities are protected under the Federal *Environmental Protection and Biodiversity Protection Act 1999* and the *WA Biodiversity Conservation Act 2016* and both State and Federal registers exist.

Significant flora and fauna are protected by the *WA Biodiversity Conservation Act 2016*. Priority and Rare flora and fauna are listed under the Act. Habitat areas listed under JAMBA and CAMBA migratory bird agreements should be protected.

Wetlands and buffers listed under the Ramsar agreement, Important Wetlands of Australia, EPP wetlands and Conservation Category wetlands are all expected to be protected.

Wild rivers listed by the Australian Heritage Council and the Department of Biodiversity, Conservation and Attractions are expected to be protected.

Landscapes and landforms accepted by the EPA should be protected.

Natural areas of world, state or national significance should be protected along with areas protected under the *Aboriginal Heritage Act 1972*.

Flora assessments

Western Australia has a rich source of biodiversity by world standards. Native vegetation has a critical role in maintaining ecological processes that support the right conditions for life and preventing land and water degradation. Of 819 vegetation associations in WA, 119 have been cleared to below 30% of their pre-European colonisation extent, 48 are at less than 10% and 2 are presumed extinct.

The EPA requires that adequate survey and analysis of native vegetation is carried out prior to development. There are two Guidance Statements that provide direction on the survey of native vegetation, Guidance Statement Number 3 – Terrestrial Biodiversity Surveys as an Element of Biodiversity Protection and Guidance Statement Number 51 – Terrestrial Flora and Vegetation Surveys for Environment Impact Assessment in Western Australia.

Fauna assessment

The Environmental Protection Authority (EPA) provides a number of Guidance Statements to assist with assessing fauna values of a site. Guidance Statement Number 33 – Environmental Guidance for Planning and Development provides overall guidelines including those for fauna assessments. Guidance Statement Number 56 provides advice on Terrestrial Fauna Surveys for Environmental Impact Assessment in Western Australia.

The Study Area

Tenure and vesting

The overall site is 22.075 hectares in size and is zoned as Development Investigation Area 1 under the Shire of Donnybrook-Balingup Town Planning Scheme No. 7.

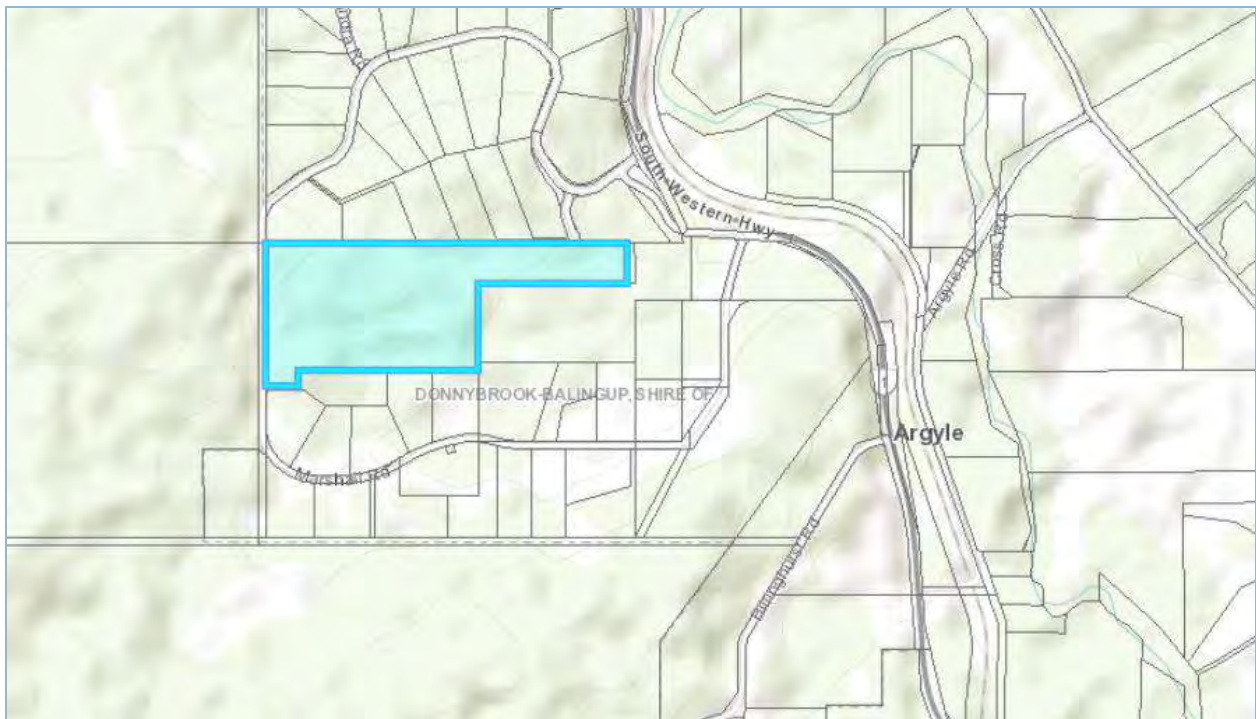


FIGURE 1: LOCATION IMAGE (IMAGE COURTESY OF WA DEPARTMENT OF PLANNING LANDS AND HERITAGE).

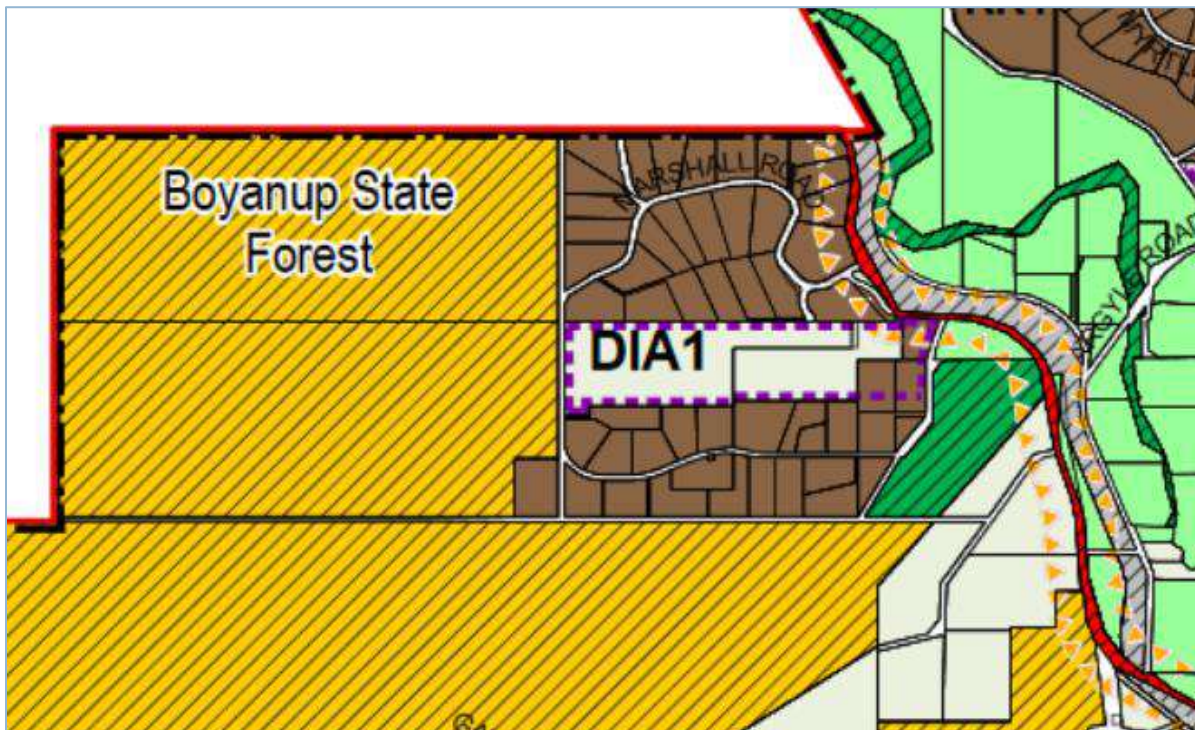


FIGURE 2: LOCAL ZONING MAP (SOURCE: SHIRE OF DONNYBROOK-BALINGUP TOWN PLANNING SCHEME)

Under the provisions for DIA1, the land use is expected to be Rural Residential. Any Structure Plan should address protection of the native vegetation on the site deemed worthy of retention. New building envelopes should be located to protect the native vegetation. Other issues include provision of safe access to the local road network. Fire management needs to be addressed in the context of the proximity to the State Forest.

The Natural Environment

The biological environment

Vegetation

Remnant vegetation identified on the site in mapping (see Figure 3) provided by the Department of Agriculture includes the grove of trees in the central part of the overall site and trees growing along the north-western, western and south-eastern boundaries.



FIGURE 3: VEGETATION COVER OVER THE SITE AND THE LOCAL AREA (IMAGE COURTESY OF THE DEPARTMENT OF AGRICULTURE).



FIGURE 4: VEGETATION TYPES ACROSS THE SITE (SOURCE; DEPARTMENT OF AGRICULTURE).

The vegetation classification for the Pre-European vegetation coverage across the northern and western part of the site is described as super group 3 with the remainder of the site classed as super group 7.

TABLE 1: PRE-EUROPEAN VEGETATION TYPES CLASSIFICATION FOR THE OVERALL SITE.

Supergroup	Structural Description	Floral Description
3	Woodland southwest	Jarrah, marri and wandoo; Eucalyptus marginata, Corymbia calophylla, Eucalyptus wandoo
7	Low forest, woodland or low woodland with scattered trees	Jarrah, banksia or casuarina; Eucalyptus marginata, Banksia spp., Allocasuarina spp.

The Regional Forest Agreement mapping available from the Department of Biodiversity, Conservation and Attractions (see Figure 5) indicates that the site is dominated by the Rosa vegetation community (Ro) with a small section of the Kingia (KI) on the northern boundary. Neither of these communities is listed as poorly represented by Matiske and Havel (2002).

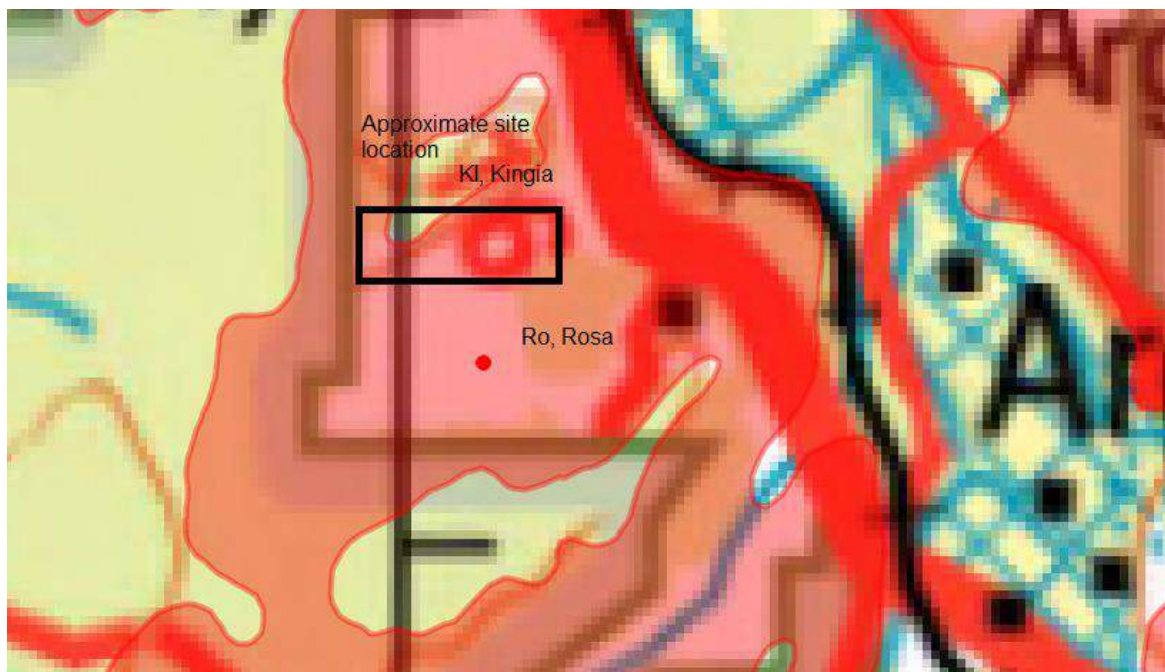


FIGURE 5: VEGETATION MAPPING ACCORDING THE REGIONAL FOREST AGREEMENT VEGETATION COMPLEXES (IMAGE COURTESY OF DBCA).

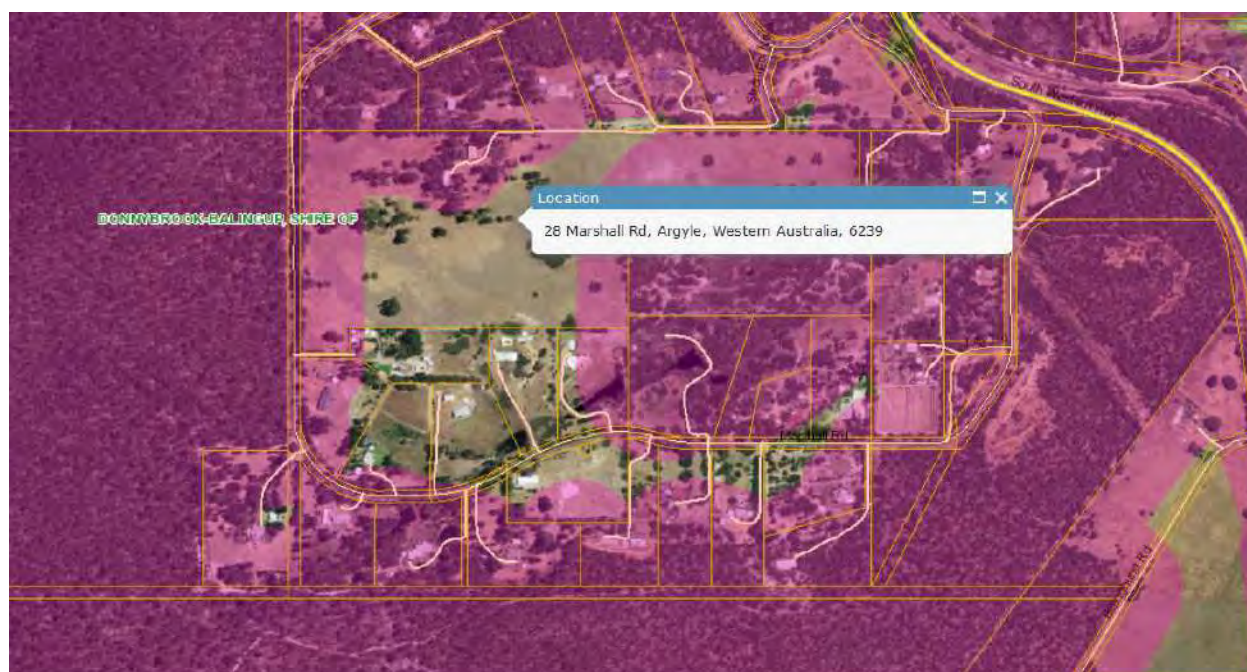


FIGURE 6: BUSHFIRE PRONE AREAS ON THE SITE AND THE LOCAL AREA (DEPARTMENT OF FIRE AND EMERGENCY SERVICES)

Large parts of the site and the majority of the surrounding area is classified as being a fire prone area according to the Department of Fire and Emergency Services. This is addressed in the Fire Management Plan for the site.

Declared Rare and Priority Flora

Declared Rare flora species are gazetted under the *Biodiversity Conservation Act 2016*. Priority flora species are listed by the Department of Biodiversity, Conservation and Attractions (DBCA) as flora that are under consideration for declaration as Rare Flora.

The following classifications are used by the DEC/DBCA and are listed on the Florabase website (<http://florabase.dec.wa.gov.au/conservationtaxa>, 2011):

X – Declared Rare Flora - Presumed Extinct - taxa which have not been collected, or otherwise verified, over the past 50 years despite thorough searching, or of which all known wild populations have been destroyed more recently, and have been gazetted as such, following approval by the Minister for the Environment, after recommendation by the State's Endangered Flora Consultative Committee.

R – Declared Rare Flora – Extant taxa which have been adequately searched for, and are deemed to be in the wild either rare, in danger of extinction, or otherwise in need of special protection, and have been gazetted as such, following approval by the Minister for the Environment, after recommendation by the State's Endangered Flora Consultative Committee. (= *Threatened Flora* = *Endangered* + *Vulnerable*).

Priority One – Poorly Known taxa which are known from one or a few (generally <5) populations which are under threat, either due to small population size, or being on lands under immediate threat, e.g. road verges, urban areas, farmland, active mineral leases, etc., or the plants are under threat, e.g. from disease, grazing by feral animals, etc. May include taxa with threatened populations on protected lands. Such taxa are under consideration for declaration as 'rare flora', but are in urgent need of further survey.

Priority Two – Poorly known taxa which are known from one or a few (generally <5) populations, at least some of which are not believed to be under immediate threat (i.e. not currently endangered). Such taxa are under consideration for declaration as 'rare flora', but are in urgent need of further survey.

Priority Three – taxa which are known from several populations, at least some of which are not believed to be under immediate threat (i.e. not currently endangered). Such taxa are under consideration for declaration as 'rare flora', but are in need of further survey.

Priority Four - rare taxa which are considered to have been adequately surveyed and which, whilst being rare (in Australia), are not currently threatened by any identifiable factors. These taxa require monitoring every 5–10 years.

Threatened and Priority fauna

Fauna are similarly protected under the *Biodiversity Conservation Act 2016*. The following classifications are used by the Department of Biodiversity, Conservation and Attractions.

Schedule 1 – Fauna that is rare or likely to become extinct

Schedule 2 – Presumed extinct

Schedule 3 – Birds protected under international agreement

Schedule 4 – Other specially protected fauna

Priority 1 – Species with few, poorly known populations on threatened lands

Priority 2 – Taxa with few, poorly known populations on conservation lands

Priority 3 – Species with several poorly known populations, some on conservation land

Priority 4 – Taxa in need of monitoring

Priority 5 – Taxa in need of monitoring (conservation dependent).

Local and Regional Significance

Under the local town planning scheme the native vegetation across the site has a high level of protection.

Threatened Ecological Communities

Threatened Ecological Communities are protected under the WA State *Biodiversity Conservation Act 2016* and Federal Government's *Environmental Protection and Biodiversity Conservation Act 1999*.

The definitions for Threatened Ecological Communities that are used by the DBCA are as follows (DEC, 2010):

Presumed Totally Destroyed (PD) - An ecological community that has been adequately searched for but for which no representative occurrences have been located.

Critically Endangered (CR) - An ecological community that has been adequately surveyed and found to have been subject to a major contraction in area and/or that was originally of limited distribution and is facing severe modification or destruction throughout its range in the immediate future, or is already severely degraded throughout its range but capable of being substantially restored or rehabilitated.

Endangered (EN) - An ecological community that has been adequately surveyed and found to have been subject to a major contraction in area and/or was originally of limited distribution and is in danger of significant modification throughout its range or severe modification or destruction over most of its range in the near future.

Vulnerable (VU) - An ecological community that has been adequately surveyed and is found to be declining and/or has declined in distribution and/or condition and whose ultimate security has not yet been assured and/or a community that is still widespread but is believed likely to move into a category of higher threat in the near future if threatening processes continue or begin operating throughout its range.

Priority One: Poorly-known ecological communities.

Ecological communities that are known from very few occurrences with a very restricted distribution (generally ≤ 5 occurrences or a total area of $\leq 100\text{ha}$).

Priority Two: Poorly-known ecological communities

Communities that are known from few occurrences with a restricted distribution (generally ≤ 10 occurrences or a total area of $\leq 200\text{ha}$).

Priority Three: Poorly known ecological communities

Priority Four: Ecological communities that are adequately known, rare but not threatened or meet criteria for Near Threatened, or that have been recently removed from the threatened list. These communities require regular monitoring.

Priority Five: Conservation Dependent ecological communities

Ecological communities that are not threatened but are subject to a specific conservation program, the cessation of which would result in the community becoming threatened within five years.

The Physical Environment

Soils

The Rosa (GvRO3) soil subsystem is found across the majority of the overall lot (Department of Agriculture, 2019). These soils are found on low valley slopes consisting of weathered mantle and colluvium over sedimentary rocks. Soils consist of duplex sandy gravels with some loamy gravels and yellow sands. Vegetation consists of jarrah-marri forest with jarrah, sheoak, bull banksia and snotty gobble.

A small section on the northern boundary consists of the Kingia (GvKI) soil type (Department of Agriculture, 2019). These soils occur on isolated lateritic crests and narrow ridges in the Donnybrook Sunkland between Ferguson Valley and Sabina River. Soils consist of duplex sandy gravels, shallow gravels, deep sandy gravels and pale deep sands. Typical vegetation consists of jarrah-marri forest and woodland.

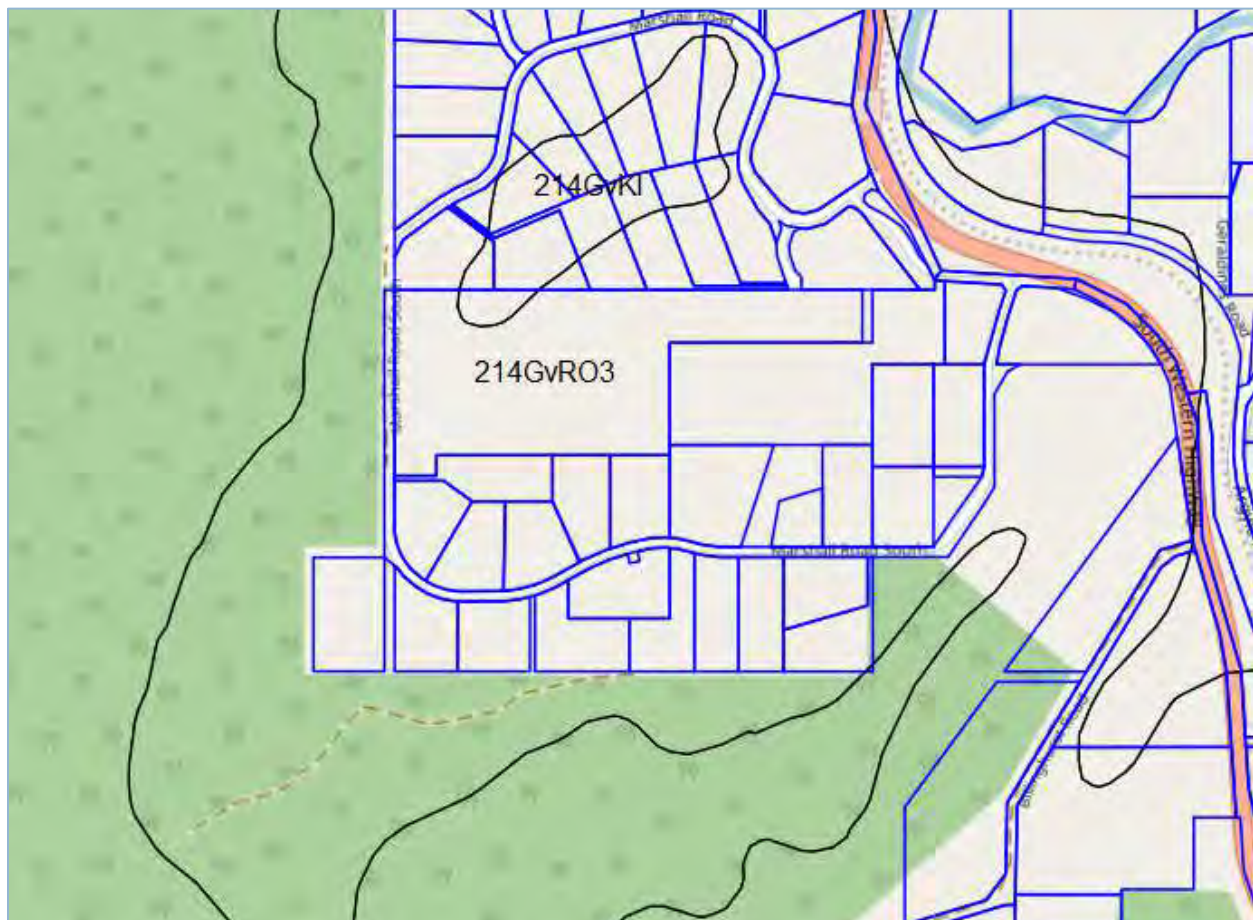


FIGURE 7: SOIL TYPES ACROSS THE SITE (SOURCE: DEPARTMENT OF AGRICULTURE)

Hydrology

The site varies between 60 and 114 metres above sea level with no drainage lines crossing the site.

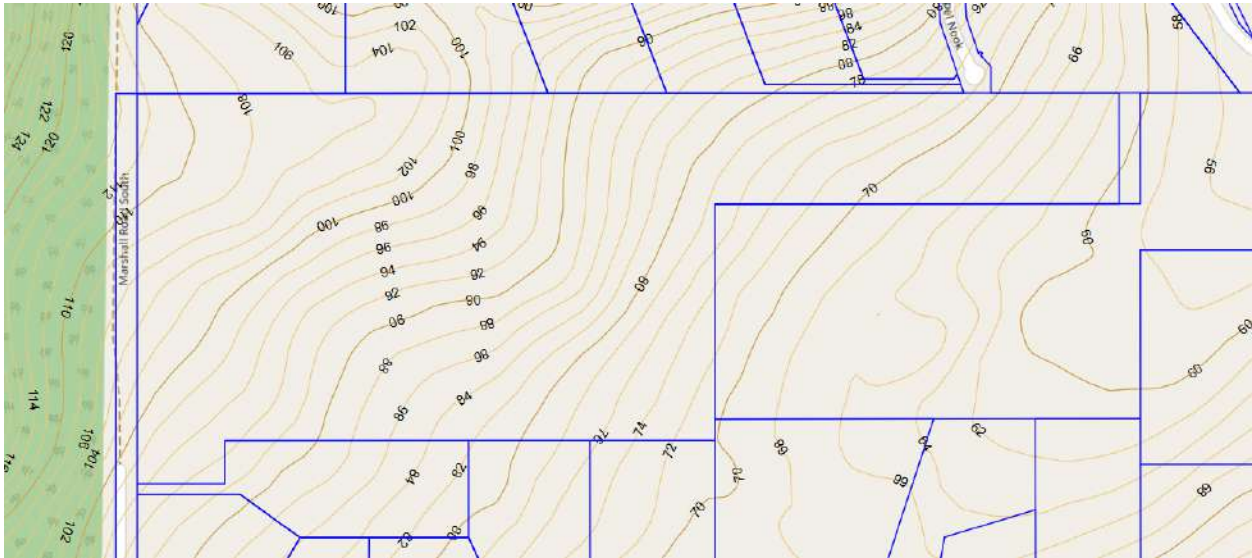


FIGURE 8: SITE CONTOURS (SOURCE: DEPARTMENT OF AGRICULTURE)

Site Assessment Methodology

Prior to conducting the site assessment, a desktop assessment was undertaken of aerial photography and other relevant information. A number of field visits were undertaken in late March and early April during the daytime to determine the range of flora species that are found at the site. The flora assessment has been carried out in accordance with the EPA Guidance Statement 51, Terrestrial Flora and Vegetation Surveys for Environmental Impact Assessment in Western Australia (EPA, 2004).

Trees found growing on the site were assessed for Diameter at Breast Height (DBH), size, condition, habitat value and structure. Trees greater than 300mm DBH have been considered as the minimum size suitable for retention as habitat trees in line with the Federal Government's guidelines. The location of the trees was recorded using a Garmin GPSmap 76CSx with an accuracy of around + or – 5 metres. The rating of the trees has been used to derive a score out of 100 that has been used for recommending the retention or removal of individual trees (scoring shown in Appendix 1).

Results and discussion

Site survey results:

Flora species

The vegetation in the area that is proposed for the new housing lots consists of individual trees and small groups of trees that would constitute open eucalypt woodland. Typical vegetation includes;

- Trees – marri (*Corymbia calophylla*), jarrah (*Eucalyptus marginata*), blackbutt (*Eucalyptus patens*), other 'exotic' (eastern states) eucalypts and other exotic trees.
- Shrubs – *Persoonia elliptica* (snottygobble), *Xylomelum occidentale* (Woody pear)
- Weed species – *Phytolacca octandra*, *Zantedeschia aethiopica* (arum lily), *Asparagus asparagoides* (bridal creeper), *Acacia longifolia*

Vegetation

Vegetation across the site mostly consists of single large trees standing alone or in small groups in paddocks. There are denser groups of trees in the middle of the site and around the existing house. There are a few shrubs growing on the site but essentially no understorey. On this basis, the two areas of denser tree cover are considered to be in a 'Degraded' condition in terms of the Bushland Condition Assessment scale used in Bush Forever (Keighery et al, 2000). The remainder of the site consists of 'Completely Degraded' paddock.

The vegetation structure within the more densely vegetated areas on the site is considered to be open woodland (as per Table 2) with the dominant species being jarrah, blackbutt and marri trees. The vegetation around the boundary of the site is considered in more detail in the Fire Management Plan.

TABLE 2: VEGETATION STRUCTURAL CLASSES TAKEN FROM BUSH FOREVER (GOVERNMENT OF WESTERN AUSTRALIA, 2000).

Life Form / Height Class	Canopy Cover (percentage)			
	100%-70%	70%-30%	30%-10%	10%-2%
Trees over 30m	Tall Closed Forest	Tall Open Forest	Tall Woodland	Tall Open Woodland
Trees 10-30m	Closed Forest	Open Forest	Woodland	Open Woodland
Trees under 10m	Low Closed Forest	Low Open Forest	Low Woodland	Low Open Woodland

<i>Tree Mallee</i>	<i>Closed Tree Mallee</i>	<i>Tree Mallee</i>	<i>Open Tree Mallee</i>	<i>Very Open Tree Mallee</i>
<i>Shrub Mallee</i>	<i>Closed Shrub Mallee</i>	<i>Shrub Mallee</i>	<i>Open Shrub Mallee</i>	<i>Very Open Shrub Mallee</i>
<i>Shrubs over 2m</i>	<i>Closed Tall Scrub</i>	<i>Tall Open Scrub</i>	<i>Tall Shrubland</i>	<i>Tall Open Shrubland</i>
<i>Shrubs 1-2m</i>	<i>Closed Heath</i>	<i>Open Heath</i>	<i>Shrubland</i>	<i>Open Shrubland</i>
<i>Shrubs under 1m</i>	<i>Closed Low Heath</i>	<i>Open Low Heath</i>	<i>Low Shrubland</i>	<i>Low Open Shrubland</i>
<i>Grasses</i>	<i>Closed Grassland</i>	<i>Grassland</i>	<i>Open Grassland</i>	<i>Very Open Grassland</i>
<i>Herbs</i>	<i>Closed Herbland</i>	<i>Herbland</i>	<i>Open Herbland</i>	<i>Very Open Herbland</i>
<i>Sedges</i>	<i>Closed Sedgeland</i>	<i>Sedgeland</i>	<i>Open Sedgeland</i>	<i>Very Open Sedgeland</i>



FIGURE 9: LARGE REMNANT MARRI TREE STANDING ALONE IN THE OPEN PADDOCK.



FIGURE 10: VIEW ACROSS THE Paddock SHOWING SEVERAL INDIVIDUAL TREES WITH OTHER REMNANT VEGETATION ON THE BOUNDARY



FIGURE 11: CLASSIC SPLITTING IN A BIFURCATED TRUNK IN A REMNANT MARRI TREE ON THE SITE – THIS TREE SHOULD BE REMOVED.



FIGURE 12: REMNANT NATIVE AND EXOTIC TREES PLANTED AROUND THE EXISTING HOUSE



FIGURE 13: SMALL AREA OF GROUPED REMNANT TREES IN THE CENTRE OF THE SITE



FIGURE 14: BURNT OUT BASE OF A REMANANT JARRAH TREE



FIGURE 15: PHYTOLACCA IS FOUND UNDER SOME OF THE REMNANT TREES



FIGURE 16: SCAR AT THE BASE OF A JARRAH TREE – THE TREE IS OTHERWISE HEALTHY



FIGURE 17: SMALLER GROUPS OF REMNANT TREES WITHIN THE Paddock AT THE WESTERN END OF THE SITE



FIGURE 18: VIEW OF REMNANT TREES FACING EAST FROM THE WESTERN BOUNDARY OF THE SITE



FIGURE 19: REMNANT TREE WITH SOME SIGNS OF TERMITE ATTACK AT THE BASE.

Conservation status of flora

No plant species of conservation significance were observed on the site.

Vegetation condition

The vegetation over the lot is considered to be in either a 'Degraded' or 'Completely Degraded' condition based on the Keighery method in Bush Forever (1994) and outlined in the Bush Forever publication (2000).

Fauna values

The trees across the site are likely to provide habitat for a number of native fauna species and many of the trees meet the criteria to be considered habitat trees (see Appendix 1).

Flocks of around 6 to 9 Red tailed Black Cockatoos were observed flying over the site during the visits.

Western grey kangaroos were observed on the site during the site visits.

Environmental Protection and Biodiversity Conservation Act database search

The Federal Government's EPBC Protected Matters Search database lists a number of species that are likely to be found in the local area (see Table 3).

TABLE 3: FAUNA SPECIES LIKELY TO BE FOUND IN THE LOCAL AREA (SOURCE: EPBC ACT PROTECTED MATTERS SEARCH DATABASE).

Scientific name	Common name	Wildlife Conservation Act status	EPBC Act status	Habitat available on site	Breeding likely on site
<i>Actitis hypoleucos</i>	Common Sandpiper		Migratory	Species or habitat may occur near the site	
<i>Apus pacificus</i>	Fork tailed swift	-	Migratory	Species or habitat may occur	
<i>Ardea alba</i>	Great egret	-	Migratory	Species or habitat may occur	

<i>Ardea ibis</i>	Cattle egret	-	Migratory	Species or habitat may occur	
<i>Calidris acuminata</i>	Sharp-tailed sandpiper		Migratory	Species or habitat may occur on the site	
<i>Calidris ferruginea</i>	Curlew sandpiper		Migratory	Species or habitat may occur on the site	
<i>Calidris melanotos</i>	Pectoral Sandpiper		Migratory	Species or habitat may occur on the site	
<i>Calyptorhynchus banksii naso</i>	Forest Red-tailed Black-Cockatoo	Schedule 1	Vulnerable	Species or habitat may occur on the site	Possible
<i>Calyptorhynchus baudinii</i>	Baudin's black cockatoo	Schedule 1	Vulnerable	Species or habitat may occur on the site	Breeding known to occur in the area
<i>Calyptorhynchus latirostris</i>	Carnaby's black cockatoo	Schedule 1	Endangered	Species or habitat may occur on the site	
<i>Dasyurus geoffroii</i>	Chuditch	Schedule 1	Vulnerable	Species or habitat may occur	
<i>Haliaeetus leucogaster</i>	White bellied sea eagle		Migratory	Species or habitat may occur	
<i>Merops ornatus</i>	Rainbow bee eater	-	Migratory	Species or habitat may occur	
<i>Motacilla cinerea</i>	Grey wagtail		Migratory	Species or habitat may	

				occur	
<i>Numenius madagascariensis</i>	Eastern Curlew, Far Eastern Curlew		Critically Endangered	Species or habitat may occur	
<i>Pandion haliaetus</i>	Osprey		Listed Marine Species	Species or species habitat known to occur within area	
<i>Pseudocheirus occidentalis</i>	Western ringtail possum	Schedule 1	Vulnerable	Species or habitat may occur	
<i>Tringa nebularia</i>	Common Greenshank		Listed Marine Species	Species or species habitat known to occur within area	
<i>Westralunio carteri</i>	Carter's Freshwater Mussell		Vulnerable	Species or species habitat known to occur within area	

The Department of Agriculture provides a relative rating for the occurrence of a range of feral animals in the local area of the site. A similar rating is provided through the Federal Government's Environmental Protection and Biodiversity Conservation Act (EPBC Act) Protected Matters Report facility (Australian Government, 2019).

TABLE 4: FERAL ANIMALS LIKELY TO BE FOUND IN THE LOCAL AREA (SOURCE: EPBC PROTECTED MATTERS SEARCH TOOL).

Feral animal	Scientific name	Relative occurrence (WA Department of Agriculture)	Occurrence (Federal Government EPBC database)
Cats	<i>Felis catus</i>	Common	Species or species habitat likely to occur

			within area
Dogs	<i>Canis familiaris</i>	Occasional	
Foxes	<i>Vulpes vulpes</i>	Occasional	Species or species habitat likely to occur within area
Pigs	<i>Sus scrofa</i>	Occasional	Species or species habitat likely to occur within area
Rabbits	<i>Oryctolagus cuniculus</i>	Common	Species or species habitat likely to occur within area

Conclusions and recommendations

This report outlines the findings of a number of daytime traverses of the area subject to development to observe flora and fauna species.

The area proposed for clearing is in a generally degraded condition and consists mostly of marri, blackbutt and jarrah trees with limited understorey. The native plants co-exist with a number of introduced pasture grass species and some environmental weeds.

Schedule 1 listed red tailed black cockatoos were observed on the site and the trees on the site along with the neighbouring state forest are likely to provide suitable habitat for these and other species.

The tree assessment and the rating have provided a framework for deciding which of these trees should be retained. The detailed assessment shown in Appendix 1 shows the range in condition and habitat value of trees found on the site. Around 87 trees have been identified as very high value established habitat trees (scoring between 80 to 100), with a further approximately 93 trees identified as worthy of retention (scoring between 50 to 80). Another 18 trees are suitable for removal (scoring less than 50) with several other trees that are dead or are exotic species that can be retained or removed as required.

Comments accompany the tree assessments in Appendix 1 to recommend the removal of some of the trees.

There are relatively few large shrubs on the site and the only fauna observations were for Western Grey Kangaroos and Black Cockatoos. Buffer management and planting should consist of retaining trees as recommended and planting large shrub species that are native to the local area.

Feral animal management should be part of the ongoing land management activities of the owners.

References

Australian Government. (2012). EPBC Act referral guidelines for three threatened black cockatoo species. Canberra: Commonwealth of Australia.

Australian Government. (2019). EPBC Act Protected Matters Report. Canberra: Commonwealth of Australia.

Beard J.S. (1990) *Plant Life of Western Australia*. Kangaroo Press, Kenthurst, New South Wales.

Bureau of Meteorology. (2019). Climate Averages for Specific Sites. Retrieved from Bureau of Meteorology: http://www.bom.gov.au/climate/averages/tables/ca_wa_names.shtml

Department of Agriculture. (2003). Land Profiler: Shires of Capel, Busselton and Augusta-Margaret River. Perth: Department of Agriculture.

Department of Agriculture. (2019). NRinfo, State Land Information Portal. WA Department of Agriculture.

Department of Conservation and Land Management (2003), *Declared Rare and Priority Flora List*. Publicly available list prepared by the Department of Conservation of Land Management, Western Australia.

Department of Environment and Conservation. (2010). Definitions, Categories and Criteria for Threatened and Priority Ecological Communities. Perth: Department of Environment and Conservation.

Department of Environment and Conservation. (2011). Conservation Codes for Western Australian Flora. Retrieved from Florabase: <http://florabase.dec.wa.gov.au/conservationtaxa>

Department of Environmental Protection. (2000). Bush Forever. Perth: Government of Western Australia.

Department of Environment, Water, Heritage and the Arts (2010), Survey guidelines for Australia's threatened frogs - Guidelines for detecting frogs listed as threatened under the *Environment Protection and Biodiversity Conservation Act 1999*.

Department of Environment, Water, Heritage and the Arts (undated), Advice to the Minister for the Environment and Heritage from the Threatened Species, Scientific Committee (TSSC) on Amendments to the list of Threatened Species under the Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act).

Environmental Protection Authority (1999a), *Environmental Protection of Native Vegetation in Western Australia*. Position Statement No. 2. Environmental Protection Authority, Perth.

Department of Fire and Emergency Services (2019), Map of Bushfire Prone Areas.

<https://maps.slip.wa.gov.au/landgate/bushfireprone/?center=,102100&scale=10000>

Department of Planning Lands and Heritage (2019). PlanWA interactive map.

<https://espatial.planning.wa.gov.au/mapviewer/Index.html?viewer=planwa>

Gibson, N., Keighery, B., Keighery, G., Burbidge, A. and Lyons, M. (1994), *A floristic survey of the southern Swan Coastal plain*. Report prepared by the Department of Conservation and Land Management and the Western Australian Conservation Council for the Australian Heritage Commission.

Hussey, BMJ, Keighery, GJ, Cousens, RD, Dodd, J, Lloyd, S (1997). 'Western Weeds – A guide to the weeds of Western Australia'. Plant Protection Society of Western Australia.

Marchant, NG, Wheeler, JR, Rye, BL, Bennett, EM, Lander, NS, Macfarlane, TD, (1987), 'Flora of the Perth Region', Parts One and Two, Western Australian Herbarium.

Mattiske, EM and Havel, JJ (2002), Review of management options for poorly represented vegetation complexes, Mattiske Consulting.

Pen, L. (1997). A Systematic Overview of Environmental Values of Wetlands, Rivers and Estuaries of the Busselton-Walpole Region. Perth: Water and Rivers Commission.

Roberts, JD, Wardell-Johnson, G. and Barendse, W. (1990), Extended descriptions of *Geocrinia vitellina* and *Geocrinia alba* (Anura: Myobatrachidae) from south-western Australia, with comments on the status of *G. lutea*.

Records of Western Australian Museum, 14 (4), 427-437.

Shepherd, D., Beeston, G. R., & Hopkins, A. J. (2002). Native Vegetation in Western Australia - Extent, Type and Status. Perth: Department of Agriculture.

Tille, P., & Lantzke, N. C. (1990). Busselton – Margaret River – Augusta: Land Capability Study. Land Resources Series No. 5. Perth: Western Australian Department of Agriculture.

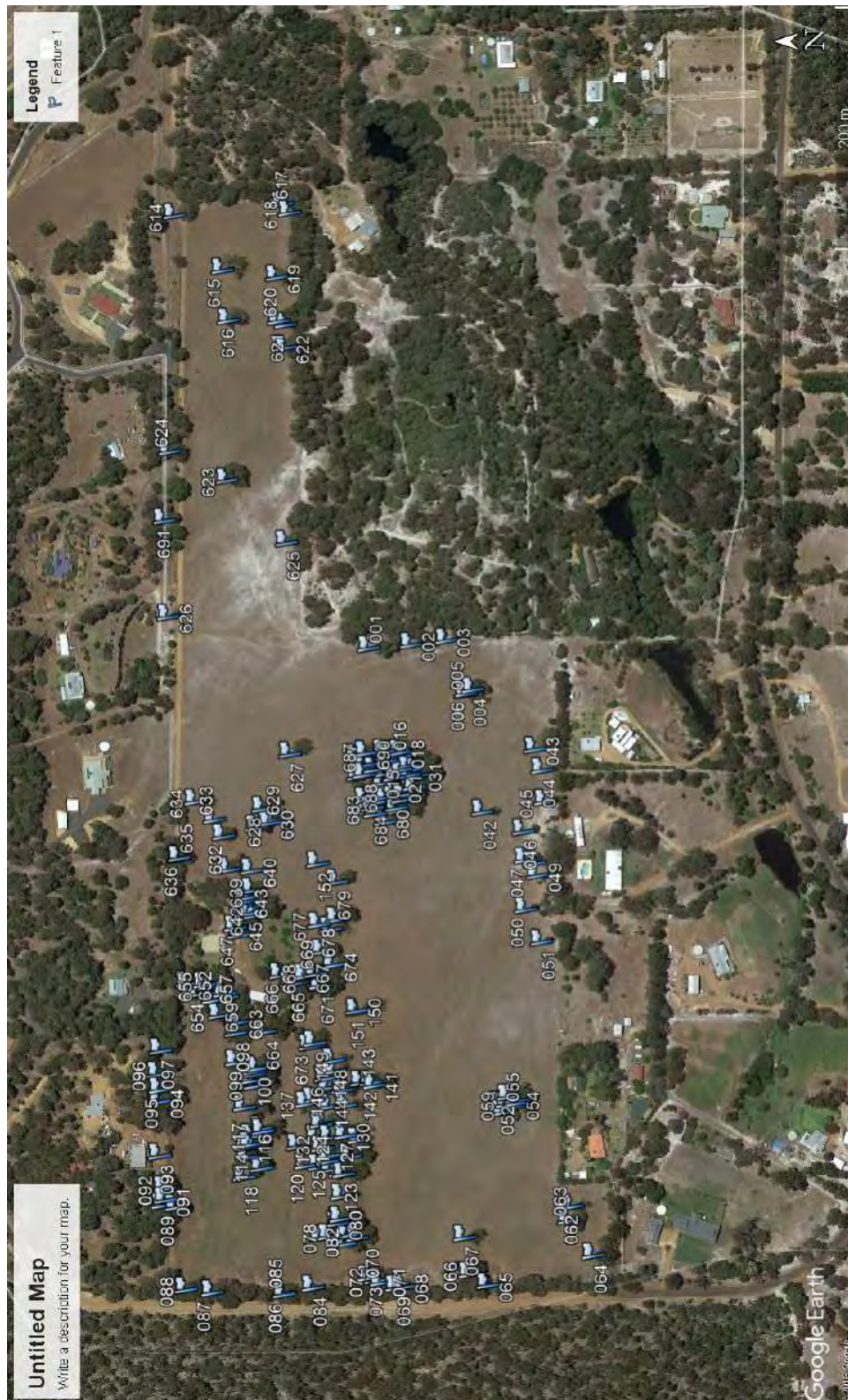
Water and Rivers Commission. (1999). Revegetation: Revegetating Riparian Zones in South-West Western Australia. River Restoration Report RR4. Perth: Water and Rivers Commission.

Western Australian Herbarium (2003), Florabase – Information on the Western Australian Flora. Department of Conservation and Land Management.

<http://www.calm.wa.gov.au/science/florabase.html>

Wheeler, J, Marchant, N, Lewington, M (2002), Flora of the South West, Bunbury-Augusta-Denmark, Volumes 1 and 2, Department of Conservation and Land Management, Commonwealth of Australia.

APPENDIX 1: WAYPOINTS AND AERIAL PHOTOGRAPHS OF LOCATIONS



SCORING SCHEDULE

DIAMETER AT BREAST HEIGHT (CM)	HEIGHT (M)	CONDITION	HABITAT VALUE	STRUCTURE	SCORE (OUT OF 20)
<30	10	P	P	P	5
30	15+	OK	OK	OK	10
+	25	G	G	G	15
++	30	VG	VG	VG	20

WAYPOINT DATA AND SCORING

* Denotes exotic species

M = MARRI

J = JARRAH

BB = BLACKBUTT

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
2	S33 32.511 E115 45.241	BB	1	30	VG	VG	VG		100
3	S33 32.527 E115 45.244	BB	1	30	VG	VG	VG		100
16	S33 32.503 E115 45.180	WOODY PEAR							100
38	S33 32.505 E115 45.150	MARRI	0.9	25	VG	VG	VG		100
43	S33 32.569 E115 45.183	MARRI	2.5	35	VG	VG	VG	GREAT SPECIMEN	100
93	S33 32.399 E115 44.965	PERSOONIA							100
152	S33 32.469 E115 45.121	BLACK COCKATOOS							100

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
615	S33 32.423 E115 45.452	M	1.5	35	VG	VG	VG		100
622	S33 32.452 E115 45.408	M	2	35+	VG	VG	VG		100
633	S33 32.422 E115 45.145	9 X RED TAILED BLACK COCKATOOS							100
640	S33 32.439 E115 45.117	J	1	30	VG	VG	VG	NEEDS TREE SURGERY	100
679	S33 32.478 E115 45.111	J	1.1	30	VG	VG	VG		100
1	S33 32.492 E115 45.239	MARRI	1	30	VG	VG	G		95
63	S33 32.583 E115 44.927	J	1.1	30	VG	VG	G		95
66	S33 32.538 E115 44.899	MARRI	1	30	VG	VG	G		95
99	S33 32.433 E115 45.015	J	1.1	30	VG	VG	G		95
110	S33 32.436 E115 44.991	M	1.1	30	VG	VG	G		95
111	S33 32.444 E115 44.980	J	1	35	VG	VG	G		95
122	S33 32.479 E115 44.954	J	1.1	30	VG	VG	G		95
629	S33 32.449 E115 45.145	J	1.1	30	VG	VG	G		95
630	S33 32.447	J	0.9	30	VG	VG	G		95

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	E115 45.143								
631	S33 32.441 E115 45.141	M	1.1	30	VG	VG	G		95
632	S33 32.426 E115 45.136	J	1	30	VG	VG	G		95
634	S33 32.413 E115 45.155	J	0.9	30	VG	VG	G		95
669	S33 32.468 E115 45.061	J	1	30	VG	VG	G		95
673	S33 32.466 E115 45.022	J	1	30	VG	VG	G		95
674	S33 32.476 E115 45.066	J	0.9	30	VG	VG	G		95
675	S33 32.471 E115 45.073	J	0.9	30	VG	VG	G		95
676	S33 32.475 E115 45.086	J	1	30	VG	VG	G		95
677	S33 32.469 E115 45.088	J	1.1	30	VG	VG	G		95
678	S33 32.478 E115 45.091	J	1.2	30	VG	VG	G		95
34	S33 32.508 E115 45.158	J	0.9	30	VG	VG	VG		90
37	S33 32.504 E115 45.151	J	0.8	20	VG	VG	VG		90
77	S33 32.483 E115 44.922	MARRI	1	30	VG	VG	G		90
81	S33 32.479 E115	MARRI	0.8	25	VG	VG	G		90

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	44.930								
89	S33 32.406 E115 44.938	J	0.9	30	VG	VG	G		90
94	S33 32.398 E115 44.994	MARRI	1.2	30	G	VG	OK	BIFURCATED UP THE TRUNK	90
96	S33 32.398 E115 45.009	MARRI	0.9	25	VG	VG	G		90
98	S33 32.432 E115 45.030	J	1.5	20	VG	VG	G	MULTI-TRUNKED	90
115	S33 32.441 E115 44.970	J	1	30	G	VG	G	SCAR AT BASE	90
117	S33 32.438 E115 44.964	M	1.3	30	G	VG	G	WOULD BENEFIT FROM TREE SURGERY	90
128	S33 32.484 E115 44.963	J	0.8	25	VG	VG	G		90
130	S33 32.482 E115 44.974	J	0.8	25	VG	VG	G		90
150	S33 32.487 E115 45.041	J	0.8	25	VG	VG	G	BIFURCATED AT BASE - TREE SURGERY	90
620	S33 32.449 E115 45.423	M	1.3	35	VG	VG	OK	LEANING	90
625	S33 32.453 E115 45.298	M	1.3	30	G	VG	G	NEEDS TREE SURGERY	90
627	S33 32.456 E115 45.181	J	1.1	25	VG	VG	G	NEEDS TREE SURGERY	90

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
628	S33 32.444 E115 45.151	J	1	25	VG	VG	G	NEEDS TREE SURGERY	90
646	S33 32.436 E115 45.088	J	0.9	25	VG	VG	G		90
648	S33 32.433 E115 45.083	J	0.9	25	VG	VG	G		90
672	S33 32.470 E115 45.054	M	1	30	VG	VG	OK	MULTI-TRUNKED	90
680	S33 32.499 E115 45.143	J	0.8	25	VG	VG	G		90
681	S33 32.495 E115 45.148	J	0.7	25	VG	VG	VG		90
684	S33 32.494 E115 45.152	J	0.7	30	VG	VG	G		90
690	S33 32.490 E115 45.181	J	0.8	25	VG	VG	G		90
8	S33 32.489 E115 45.178	J	0.6	25	VG	G	G	DOUBLE?	85
36	S33 32.506 E115 45.155	BB	0.7	25	VG	VG	G		85
67	S33 32.535 E115 44.919	J	1.1	25	G	VG	G	SCAR AT BASE	85
73	S33 32.492 E115 44.899	MARRI	0.8	25	G	G	G		85
74	S33 32.487 E115 44.920	MARRI	0.8	20	VG	VG	G		85
82	S33 32.480 E115 44.930	J	1	30	VG	VG	G		85
88	S33 32.411	J	0.8	30	VG	VG	OK		85

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	E115 44.895								
92	S33 32.401 E115 44.947	MARRI	1.3	25	VG	VG	OK	LEANING	85
105	S33 32.441 E115 45.005	M	0.7	25	VG	VG	G		85
112	S33 32.445 E115 44.978	J	0.7	30	G	G	G	SCAR AT BASE	85
113	S33 32.440 E115 44.976	J	1	25	VG	VG	OK		85
118	S33 32.437 E115 44.954	J	0.8	25	G	VG	G		85
140	S33 32.482 E115 44.990	BB	0.8	25	VG	VG	OK		85
144	S33 32.480 E115 44.998	BB	0.5	25	VG	VG	G		85
616	S33 32.426 E115 45.423	M	1.5	30	G	VG	OK		85
617	S33 32.450 E115 45.490	M	0.6	25	VG	G	VG		85
643	S33 32.435 E115 45.101	J	0.8	25	VG	G	G		85
649	S33 32.440 E115 45.093	M	0.9	25	VG	G	G		85
664	S33 32.446 E115 45.031	J	1	25	G	VG	G		85
670	S33 32.469 E115 45.056	M	0.6	30	G	VG	G		85
671	S33 32.470 E115	M	0.6	30	G	VG	G		85

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	45.055								
689	S33 32.489 E115 45.175	J	0.6	30	VG	VG	G		85
69	S33 32.505 E115 44.893	J	0.4	25	VG	G	G		80
72	S33 32.495 E115 44.897	MARRI	0.8	25	G	G	G		80
85	S33 32.455 E115 44.892	J	0.6	25	VG	G	G		80
90	S33 32.400 E115 44.939	MARRI	0.5	30	G	G	G		80
101	S33 32.441 E115 45.010	M	0.8	25	G	G	G		80
143	S33 32.489 E115 45.002	J	0.6	20	VG	VG	G		80
149	S33 32.468 E115 45.024	BB	1	25	G	G	G		80
619	S33 32.448 E115 45.448	J	1.5	35	OK	VG	OK	SCAR ON TRUNK	80
621	S33 32.452 E115 45.421	J	0.9	25	G	VG	OK	LEANING + EPICORMIC SHOOTS	80
682	S33 32.491 E115 45.149	J	0.6	25	VG	G	G		80
4	S33 32.540 E115 45.216	J	0.9	20	G	G	G	BURNT AT BASE	75
10	S33 32.490 E115 45.174	J	0.5	25	G	G	G		75
11	S33 32.492 E115 45.170	J	0.6	25	G	G	G		75

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
29	S33 32.510 E115 45.172	MARRI	0.5	25	G	G	G		75
33	S33 32.513 E115 45.162	MARRI	0.8	25	G	G	OK		75
55	S33 32.558 E115 44.988	MARRI	0.8	20	G	G	G		75
71	S33 32.498 E115 44.897	MARRI	0.7	25	G	G	G		75
78	S33 32.475 E115 44.921	J	0.9	25	G	G	OK	BRANCH SCARS ON TRUNK	75
100	S33 32.442 E115 45.011	M	1	20	G	G	G		75
119	S33 32.444 E115 44.958	M	1.2	30	OK	VG	P	WHITE ANTS IN BASE	75
126	S33 32.474 E115 44.960	M	0.5	25	G	G	G		75
132	S33 32.471 E115 44.968	J	0.9	25	G	G	OK	DEAD BRANCHES - NEEDS TREE SURGERY	75
151	S33 32.487 E115 45.040	BB	0.8	25	OK	G	G	EPICORMIC SHOOTS	75
614	S33 32.400 E115 45.483	MX2	.5/.6	25	G	G	G		75
647	S33 32.432 E115 45.087	BB	0.4	25	VG	G	G		75
650	S33 32.441 E115 45.094	M	0.8	20	G	G	G		75
652	S33 32.411	M	0.6	25	G	G	G		75

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	E115 45.057								
667	S33 32.463 E115 45.060	M	0.6	25	G	G	G		75
9	S33 32.492 E115 45.177	J	0.5	20	G	G	G	DOUBLE?	70
17	S33 32.503 E115 45.181	J	0.6	20	G	G	OK	BIFURCATED AT BASE - TREE SURGERY	70
20	S33 32.511 E115 45.177	MARRI	0.6	20	G	G	G		70
53	S33 32.558 E115 44.991	MARRI	0.6	20	G	G	G		70
59	S33 32.555 E115 44.990	MARRI	0.9	15	G	G	P	LEANING	70
75	S33 32.482 E115 44.917	MARRI	0.6	20	G	G	G		70
97	S33 32.399 E115 45.021	MARRI X 7	.3-.8	20	G	G	G		70
103	S33 32.441 E115 45.008	M	0.6	15	G	G	G		70
107	S33 32.442 E115 45.003	M	0.4	20	G	OK	OK		70
123	S33 32.481 E115 44.954	J	0.5	15	G	G	G		70
137	S33 32.464 E115 44.992	J	0.8	20	OK	G	OK		70
141	S33 32.495 E115 45.001	M	1	25	OK	VG	OK	NEEDS TREE SURGERY	70

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
145	S33 32.474 E115 45.000	J	0.4	20	G	G	G	BIFURCATED AT BASE - TREE SURGERY	70
623	S33 32.426 E115 45.333	M	1.2	35	P	VG	P	BIFURCATED TRUNK	70
641	S33 32.439 E115 45.107	J	0.8	25	OK	G	OK		70
642	S33 32.436 E115 45.103	M	0.8	25	OK	G	OK		70
651	S33 32.439 E115 45.098	M	0.7	20	G	G	G	NEEDS TREE SURGERY	70
655	S33 32.418 E115 45.056	M	0.9	25	OK	G	OK	LEANING	70
665	S33 32.457 E115 45.056	M	0.5	25	G	G	G	MULTI- TRUNKED	70
683	S33 32.493 E115 45.151	J	0.6	20	G	G	G		70
5	S33 32.536 E115 45.214	MARRI	1.3	20	OK	G	OK	LEANING + SCARS IN TRUNK - TS	65
6	S33 32.537 E115 45.214	J	1	20	OK	G	OK	EPICORMIC SHOOTS + TERMITE TRAILS	65
7	S33 32.486 E115 45.179	J	0.8	25	VG	VG	G	DOUBLE?	65
15	S33 32.500 E115 45.177	J	0.7	25	OK	G	P	BURNT AT BASE	65
31	S33 32.514 E115 45.169	MARRI	0.8	20	G	OK	OK		65

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
54	S33 32.559 E115 44.990	MARRI	0.6	15	G	OK	G		65
58	S33 32.560 E115 44.992	MARRI	0.6	25	G	OK	OK		65
70	S33 32.498 E115 44.896	MARRI	0.4	20	G	G	G		65
86	S33 32.455 E115 44.891	J	0.5	15	G	OK	OK		65
106	S33 32.441 E115 45.005	M	0.3	20	G	G	G		65
124	S33 32.475 E115 44.957	M	0.5	20	G	G	G		65
125	S33 32.474 E115 44.961	M	0.4	20	G	G	G		65
127	S33 32.474 E115 44.964	M	0.5	20	G	G	G		65
135	S33 32.472 E115 44.981	M	0.7	20	OK	G	OK		65
624	S33 32.399 E115 45.348	M	0.6	20	G	OK	G		65
639	S33 32.429 E115 45.118	JX2	0.9	20+	G	G	P	LEANING	65
653	S33 32.413 E115 45.054	M	0.6	20	G	G	OK	NEEDS TREE SURGERY	65
659	S33 32.427 E115 45.052	M	0.3	20	G	G	G		65
663	S33 32.433 E115 45.036	J	0.8	20	OK	G	OK	MAY HAVE TERMITES	65
13	S33 32.497	J	0.5	25	OK	OK	OK		60

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	E115 45.172								
28	S33 32.506 E115 45.170	J	0.3	20	G	OK	G		60
32	S33 32.512 E115 45.167	J	0.4	20	G	L	G		60
39	S33 32.499 E115 45.155	J	0.3	20	VG	L	G		60
41	S33 32.503 E115 45.160	J	0.25	15	G	G	G		60
42	S33 32.544 E115 45.149	BB	0.9	20	OK	OK	OK		60
83	S33 32.480 E115 44.942	BB	0.7	15	G	OK	OK		60
87	S33 32.423 E115 44.893	MARRI	1	25	P	OK	OK	DYING	60
131	S33 32.475 E115 44.974	M	0.6	20	G	G	P	SCAR AT BASE	60
146	S33 32.473 E115 45.005	BB	0.5	15	OK	G	OK		60
148	S33 32.476 E115 45.015	J	0.5	20	OK	G	OK	SCAR AT BASE	60
662	S33 32.425 E115 45.040	J	0.3	20	G	G	OK	BIFURCATED	60
686	S33 32.490 E115 45.156	J	0.8	20	OK	OK	OK	SCAR ON TRUNK	60
14	S33 32.499 E115 45.182	J	0.4	20	OK	OK	OK		55
18	S33 32.506 E115	J	0.3	20	G	L	G		55

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	45.182								
19	S33 32.508 E115 45.180	MARRI	0.6	15	G	L	OK		55
56	S33 32.560 E115 44.992	MARRI	0.5	20	G	L	G		55
68	S33 32.508 E115 44.894	MARRI	0.5	25	OK	OK	OK		55
102	S33 32.441 E115 45.012	M	0.5	20	OK	OK	OK		55
147	S33 32.477 E115 45.009	BB	0.5	15	OK	OK	OK		55
638	S33 32.406 E115 45.124	M	0.8	20	OK	P	OK		55
644	S33 32.434 E115 45.099	M	0.3	20	G	OK	OK	LEANING	55
661	S33 32.422 E115 45.048	M	0.4	20	G	OK	OK		55
666	S33 32.452 E115 45.061	M	0.8	20	OK	L	OK		55
668	S33 32.465 E115 45.060	M	0.3	20	G	OK	OK		55
12	S33 32.495 E115 45.172	J	0.4	20	OK	OK	OK		50
21	S33 32.510 E115 45.174	J	0.3	20	G	L	G		50
23	S33 32.506 E115 45.172	J	0.3	15	G	L	G		50
26	S33 32.504 E115 45.168	MARRI	0.4	20	OK	OK	OK		50

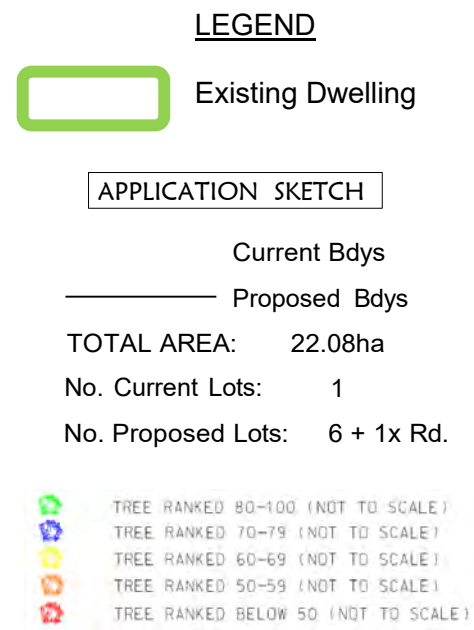
Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
30	S33 32.512 E115 45.175	MARRI	0.6	20	OK	OK	P	LEANING	50
57	S33 32.559 E115 44.990	MARRI	0.6	15	G	L	P	LEANING	50
142	S33 32.493 E115 45.002	M	0.4	15	P	OK	P		50
656	S33 32.419 E115 45.057	M	0.4	20	OK	OK	OK		50
657	S33 32.420 E115 45.055	M	0.4	20	OK	OK	OK		50
660	S33 32.429 E115 45.050	M	0.4	20	G	L	OK		50
687	S33 32.487 E115 45.168	M	0.3	15	OK	OK	OK		50
24	S33 32.499 E115 45.170	J	0.4	15	OK	L	OK		45
27	S33 32.504 E115 45.167	MARRI	0.4	20	OK	L	OK		45
35	S33 32.507 E115 45.155	MARRI	0.3	15	OK	L	OK	LEANING	45
52	S33 32.555 E115 44.994	MARRI	0.5	15	OK	L	OK		45
62	S33 32.584 E115 44.934	MARRI	1	20	P	L	P		45
65	S33 32.546 E115 44.894	MARRI	0.9	7	OK	L	P	LEANING, BRANCH SCAR ON TRUNK	45
76	S33 32.482 E115 44.918	MARRI	0.3	7	G	L	OK		45

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
645	S33 32.438 E115 45.095	M	0.3	20	OK	P	OK		45
685	S33 32.496 E115 45.156	J	0.8	15	P	P	P		45
22	S33 32.510 E115 45.169	J	0.6	20	P	L	P	BURNT AT BASE	40
84	S33 32.467 E115 44.894	J	0.5	20	P	L	P		40
104	S33 32.439 E115 45.005	M	0.5	5	P	P	P		40
108	S33 32.441 E115 45.002	M	0.3	7	OK	P	P		40
109	S33 32.439 E115 45.002	M	0.25	10	OK	OK	OK		40
654	S33 32.415 E115 45.052	M	0.3	20	P	OK	P		40
658	S33 32.423 E115 45.053	M	0.4	20	P	OK	P	WHITE ANTS	40
688	S33 32.490 E115 45.169	M	0.5	7	P	L	P		35
626	S33 32.399 E115 45.256	J	0.4	10	P	P	P		30
25	S33 32.498 E115 45.165	J						DEAD	20
40	S33 32.500 E115 45.158	J						DEAD	20
44	S33 32.572 E115 45.172	EXOTIC EUC							20

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
45	S33 32.573 E115 45.154	EXOTIC EUC							20
46	S33 32.563 E115 45.138	EXOTIC EUC							20
47	S33 32.564 E115 45.122	EXOTIC EUC							20
48	S33 32.568 E115 45.120	EXOTIC EUC							20
49	S33 32.569 E115 45.114	GROUP OF EXOTIC EUCS							20
50	S33 32.564 E115 45.095	EXOTIC EUC							20
51	S33 32.571 E115 45.077	EXOTIC EUC							20
64	S33 32.594 E115 44.908	SEVERAL EXOTIC EUCS							20
80	S33 32.478 E115 44.928	MARRI						DEAD	20
95	S33 32.399 E115 45.000	J						DEAD	20
116	S33 32.438 E115 44.970	DEAD							20
120	S33 32.464 E115 44.959	FICUS CARICA							20
134	S33 32.469 E115 44.974	FICUS CARICA							20
136	S33 32.471 E115	J						DEAD	20

Waypoint	Location	Species	DBH (m)	Height (m)	Condition	Habitat Value	Structure	Comment	Score
	44.981								
138	S33 32.467 E115 44.994	FICUS CARICA							20
139	S33 32.475 E115 44.990	FICUS CARICA							20
618	S33 32.454 E115 45.485	ACACIA LONGIFOLIA X 5						COULD RETAIN FOR SCREENING	20
60	S33 32.553 E115 44.985	ARUM LILY							0
61	S33 32.552 E115 44.990	PHYTOLACCA							0
79	S33 32.471 E115 44.921	PHYTOLACCA							0
91	S33 32.401 E115 44.941	BRIDAL CREEPER							0
114	S33 32.439 E115 44.971	PHYTOLACCA							0
121	S33 32.470 E115 44.959	PHYTOLACCA							0
129	S33 32.488 E115 44.972	FICUS CARICA PHYTOLACCA							0
133	S33 32.461 E115 44.970	DEAD							0

Appendix 6B



NOTE: All services plotted from information supplied by others, site verification required prior to construction. Boundary position is not deemed to be correct until a resurvey has been carried out. Check Certificate of Title for any easements etc. No responsibility accepted for changes occurring after date of survey.

REVISION SCHEDULE		Sheet 1 of 1
No.	Date	Description
1	22/Nov./23	BUILDING ENVELOPES AMENDED



Innovators in Surveying Since 1952

Licensed Surveyors, Project Managers
& Engineering Surveyors

A.C.N. 008 938 903 ABN 78 008 938 903
Unit 6, 18 Casuarina Drive, Bunbury
PO Box 1719 BUNBURY WA 6231

Phone: (08) 9721 4000
Email: info@thompsonsursurveying.com.au

CLIENT:		T. SCAFFIDI	
PROJECT:		LOT 384 ON D.P. 153579 (C/T 1508/889), (# 28) MARSHALL ROAD, ARGYLE	
TITLE:		PROPOSED SUBDIVISION + BUILDING ENVELOPES	
DATUM	HOR:	N/A	VERT: N/A

Date:	21/Nov./23	Drawn:	Pb	Surveyor:	JT	CHKd:
File:	12198APP+BidEnv - DWG21298APP-Sheet1					
Scale						
(@ A3)	<p>1:3000</p>					
<p>COPYRIGHT: This drawing is the property of THOMPSON SURVEYING CONSULTANTS and shall not be copied or reproduced in whole or in part, for any other purpose than was originally intended unless written consent is given by THOMPSON SURVEYING CONSULTANTS.</p>						

Planning and Development Act 2005
RESOLUTION TO ADOPT AMENDMENT
TO LOCAL PLANNING SCHEME

Shire of Donnybrook-Balingup Local Planning Scheme No. 7
Amendment No. 14

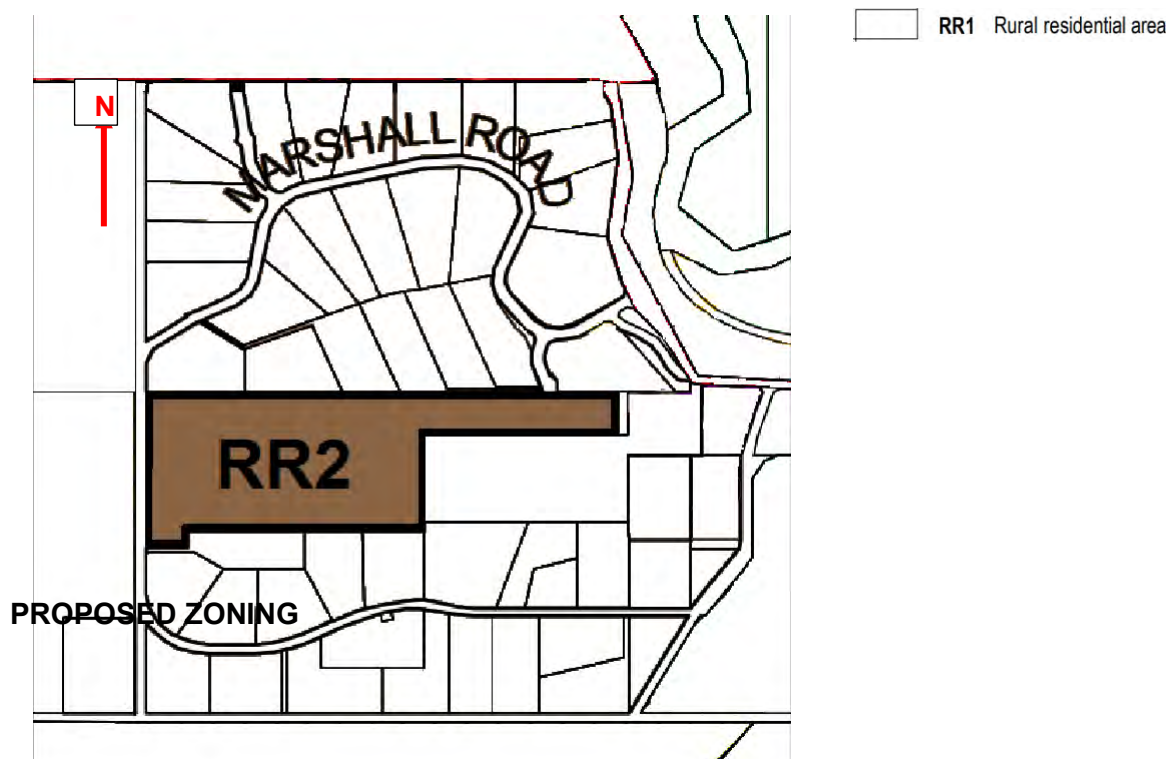
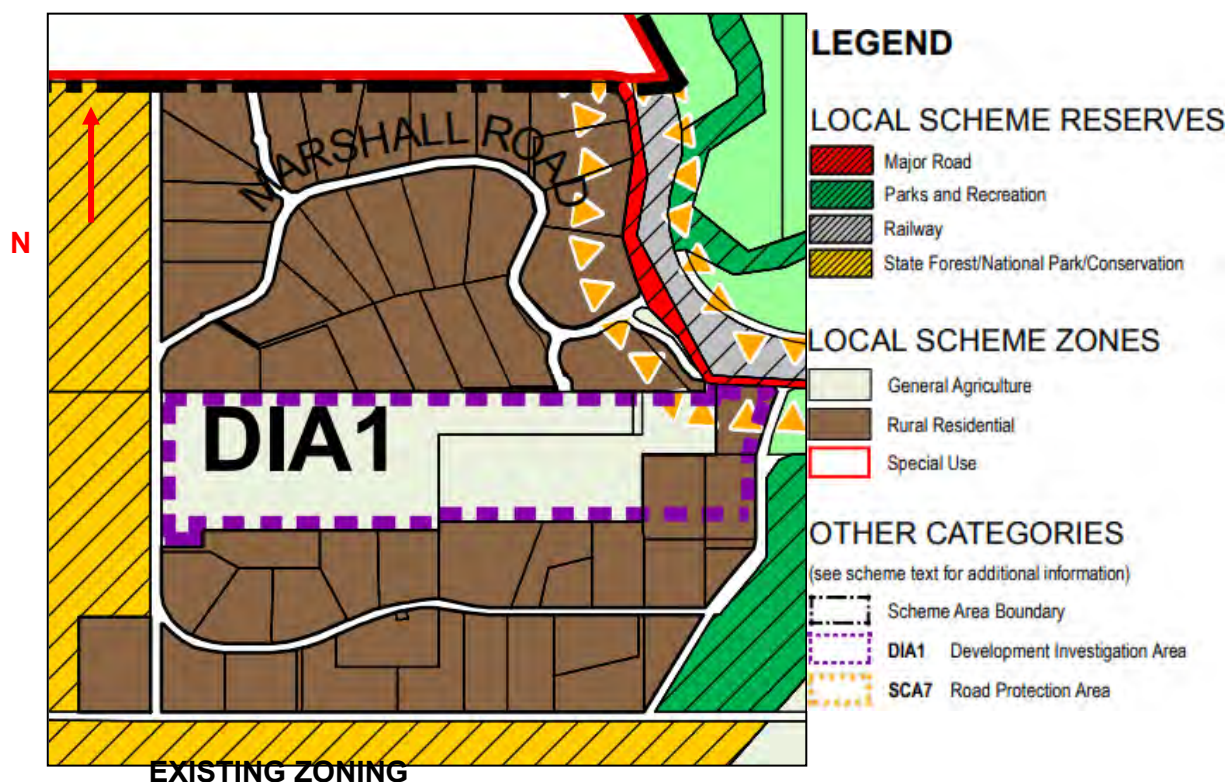
1. Resolved that the local government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:
 - 1.1. Reclassifying Lot 384 Marshall Road, Argyle from 'General Agriculture' zone to 'Rural Residential' zone and identifying as 'RR2' within Schedule 2;
 - 1.2. Deleting 'DIA1' and all associated requirements for Lot 384 Marshall Road, Argyle within Schedule 13;
 - 1.3. Inserting the following provisions into Schedule 2 of the Scheme after 'RR1':

Zone Identification	Special Provisions
RR2 Lot 384 Marshall , Road, Argyle.	<p>Prior to subdivision and development, the following is to be addressed:</p> <ol style="list-style-type: none"> 1. Subdivision and development to be generally in accordance with the subdivision concept plan below: <div data-bbox="608 1086 1230 1368" data-label="Figure"> </div> 2. Construction of a fully operational 50,000L water tank for firefighting purposes. 3. Construction of an Emergency Access Way connecting to South Western Highway to the specifications of Main Roads Western Australia. 4. Construction of Emergency Access Ways, via an internal Right of Carriageway and a Restricted Public Emergency Access Way within the subdivision to facilitate access to Strempel Nook. 5. Satisfactory arrangements being made with the local government for the construction of the portion of Marshall Road fronting the subdivision site. 6. Satisfactory arrangements being made with the local government for the construction of the portion of Strempel Nook providing access to new lots as a result of the subdivision of the land.

- 1.4. Amending the scheme map accordingly.

2. The Amendment is a “Standard Amendment” under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reasons:
 - The amendment relates to a zone that is consistent with the objectives identified in the above Local Planning Scheme and;
 - The amendment is consistent with the Local Planning Strategy for the scheme that has been endorsed by the Commission.

SHIRE OF DONNYBROOK-BALINGUP LOCAL PLANNING
SCHEME NO. 7 AMENDMENT NO. 14



COUNCIL ADOPTION

This Standard Amendment was adopted by resolution of the Council of the Shire of Donnybrook-Balingup at the Ordinary Meeting of the Council held on the 27 day of NOVEMBER 2024.

SHIRE PRESIDENT 

CHIEF EXECUTIVE OFFICER 

COUNCIL RECOMMENDATION

This Amendment is recommended for approval by resolution of the Shire of Donnybrook-Balingup at the Ordinary Meeting of the Council held on the ____ day of _____ and the Common Seal of the Shire of Donnybrook- Balingup was hereunto affixed by the authority of a resolution of the Council in the presence of:

SHIRE PRESIDENT

CHIEF EXECUTIVE OFFICER. /

**WAPC RECOMMENDATION FOR APPROVAL
DELEGATED UNDER S.16 OF THE P&D ACT 2005
DATE.....**

**APPROVAL GRANTED
MINISTER FOR PLANNING
DATE.....**